

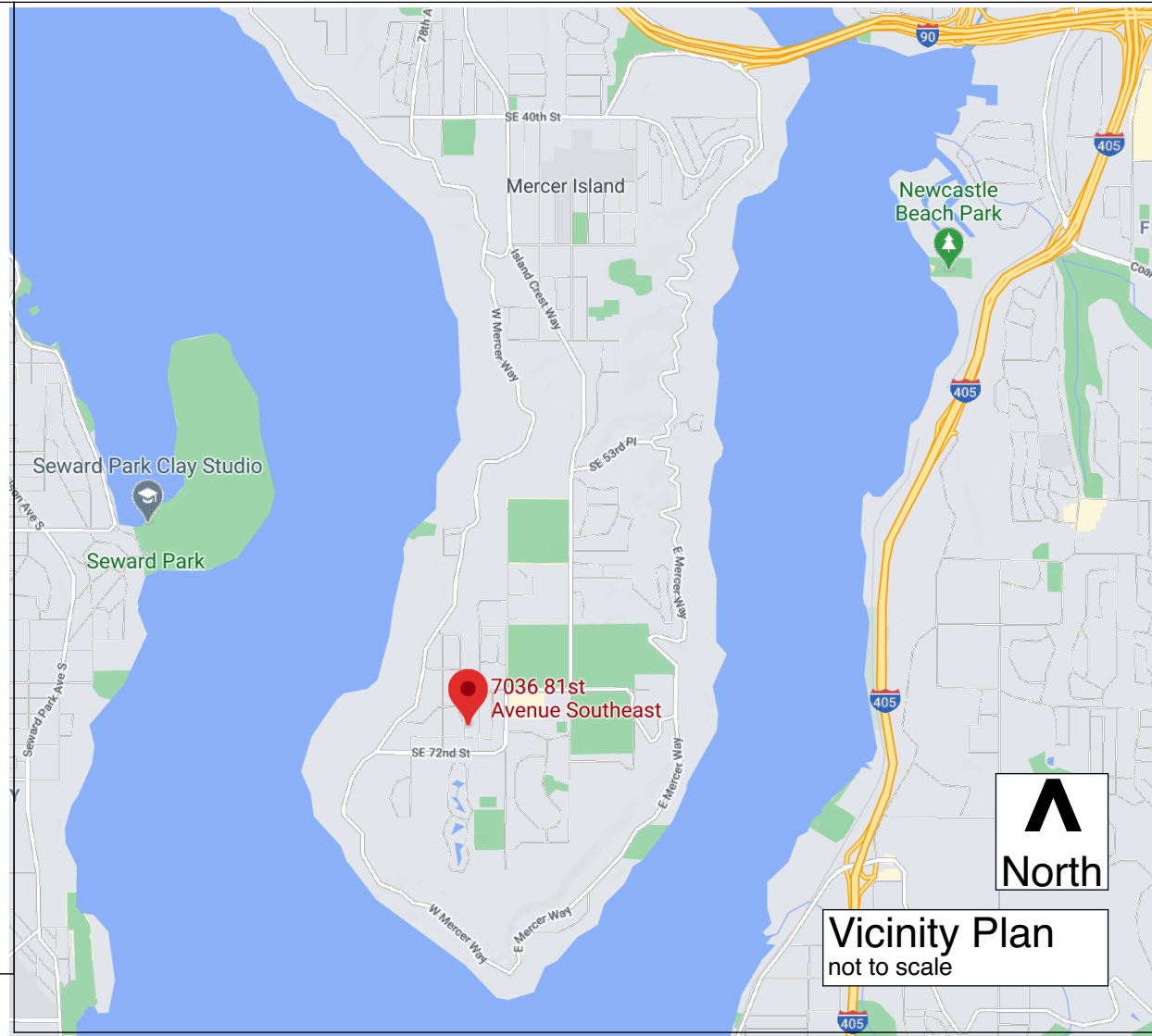


Project Team

Wascha Studios LLC
 815 Seattle Blvd. South #135 Seattle WA 98134
 Phone: 206-818-2139
 E-mail: sw@waschastudios.com
 Contact: Stephanie A. Wascha, AIA

Harriott Valentine Engineering
 1932 1st Ave ste 720 Seattle
 Phone: 206.624.4760
 E-mail: hknuckles@harriottvalentine.com
 Contact: Henry Knuckles

Contractor
 Palmer Residential
 405 S. Brandon St.
 Phone: 206.661.2031
 E-mail: ron@palmerresidential.com
 Contact: Ron Palmer



General Notes

- All work shall conform to the 2015 IRC and all other applicable codes and ordinances.
- Do not scale drawings: use calculated dimensions only. Verify existing "as-built" dimensions as req'd. All dimensions are to face of stud unless noted otherwise.
- Verify all rough-in dimensions and locations for equipment, fixtures etc. Provide all blocking, buck-outs, backing and jacks required for installation.
- All wood in contact with concrete to be pressure treated.
- All flashing to be galvanized, galvalume or factory finish to be approved by architect and owner.
- Contractor shall verify all existing conditions prior to initiating any portion of the work.
- Provide all protection, shoring and bracing as required by site conditions in order to maintain a safe job site and protect components to remain.
- Stair and guardrail openings to be less than 4".
- Tight line all affected drainage to approved drainage system.
- All framing to be properly caulked, sealed, gasketed or otherwise treated to minimize air infiltration prior to sheathing and finishing.
- All (new) smoke detectors to be hardwired to home's electrical system.
- If subsurface water is encountered at any point, contact the owner's geotechnical engineer for recommendations before proceeding.

Applicable Codes

- Mercer Island Title 6
- 2015 WA State Energy Code
- Fire: NFPA monitored household fire alarm per NFPA 72 for both the main residence and the ADU

Energy

Compliance path: PRESCRIPTIVE
 Requirements applicable to this project:

Vertical glazing: U .3 minimum
 Exterior wall: R-21 minimum
 Ceiling: R-49 minimum; R-38 single rafter
 Floors R-10 RIGID minimum

CREDITS:
 1.5 credits needed

Option 3a, High efficiency HVAC 1 credit
 Carrier heat pump 25hce model single stage up to 14 seer 2 ton
 Carrier 59sc5 95% gas furnace 2 ton 40k

Option 5b, High efficiency Water heating 1 credit
 Tankless Navien 210s EF .99

Ventilation

WHOLE HOUSE VENTILATION 30CFM CONT. VENTING

Water Supply System Requirements

Required: 1" Meter size & 1.25" supply line (meter to house) VIF

Other Land Use Applications:

There will be an ADU application associated with the building permit

Property Information

Project Type: DEMO GARAGE & SHED, BUILD ATTACHED SINGLE STORY ADDITION AND GARAGE

Owners: CHAN REVOCABLE LIVING TRUST

Site Address: 7036 81ST AVE SE . MERCER ISLAND WA 98040

Legal Description:
 LOT 3, BLOCK 4, TWIN VIEW NO. 2, ACCORDING TO THE PLAT THEREOF RECORDED IN VOL 64 OF THE PLATS, PAGES 90 AND 91 IN KING COUNTY WA.
 Assessor Parcel Number: 873230-0204

Zoning: R9.6

Floor Areas

Main Residence (E) to remain	3175Sq Ft
Addition	841 Sq Ft
Attached Garage	487 Sq Ft

Sheet Index

Cover Sheet, Site Plans, Permit Requirements

A001	Cover Sheet and Site Plan
A002	Tree Retention & Replanting
A003	Survey
A003	CALCS
A004	Demolition Main Level Plan
A005	Schedules

Plans

A101	Foundation
A102	Main Level Plan
A103	Roof Plan

Elevations

A201	N/S Elevation
A202	E/W Elevation

Sections

A301	Sections
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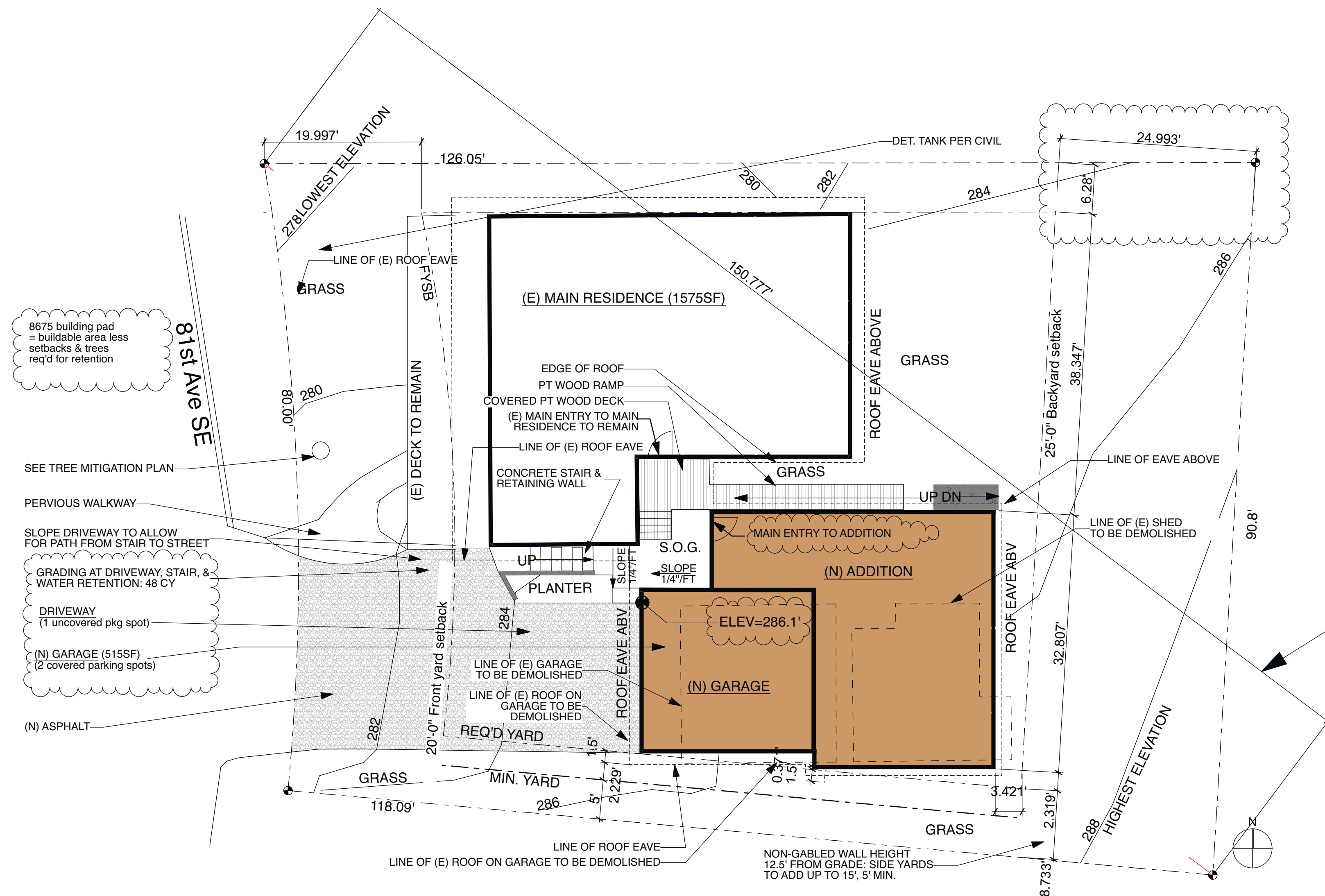
Details

Structural Engineering

- S1.0 Structural Notes
- S2.0 Foundation Plan
- S2.1 Main Floor Framing
- S2.2 Roof Framing
- S3.0 Structural Details
- S3.1 Structural Details
- S3.2 Structural Details
- S4.0 Structural Details

Civil Engineering

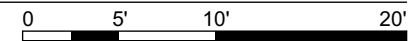
- Site & Drainage Plan Sheets 1&2
- TESC Plans Sheets 1&2



HEIGHT/SLOPE	
LOWEST ELEV	278
HIGHEST ELEV	288
DIFFERENCE	10'
LENGHT: DIAG DIST. ACROSS LOT	150'
SLOPE	6.7%

1 A001 Site Plan - Soil Management Plan

SCALE: 1" = 10'



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 206-818-2139
 www.waschastudios.com

CHAN ADDITION

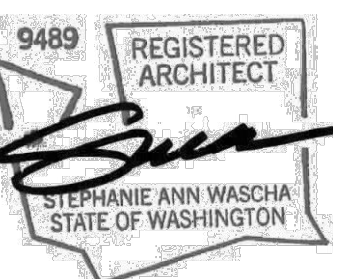
7036 81ST AVE SE
 MERCER ISLAND, WA
 98040

Project Number:

Drawings and Specifications as instruments of service are and shall remain the property of the Architect. They are not to be used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation to the Architect.

The General Contractor is responsible for confirming and correlating dimensions at the job site. The Architect will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

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 CORRECTIONS SUBMITTED
 05.08.21

ISSUED:
 01- MODIFICATIONS 12.11.20

Cover Sheet and Site Plan

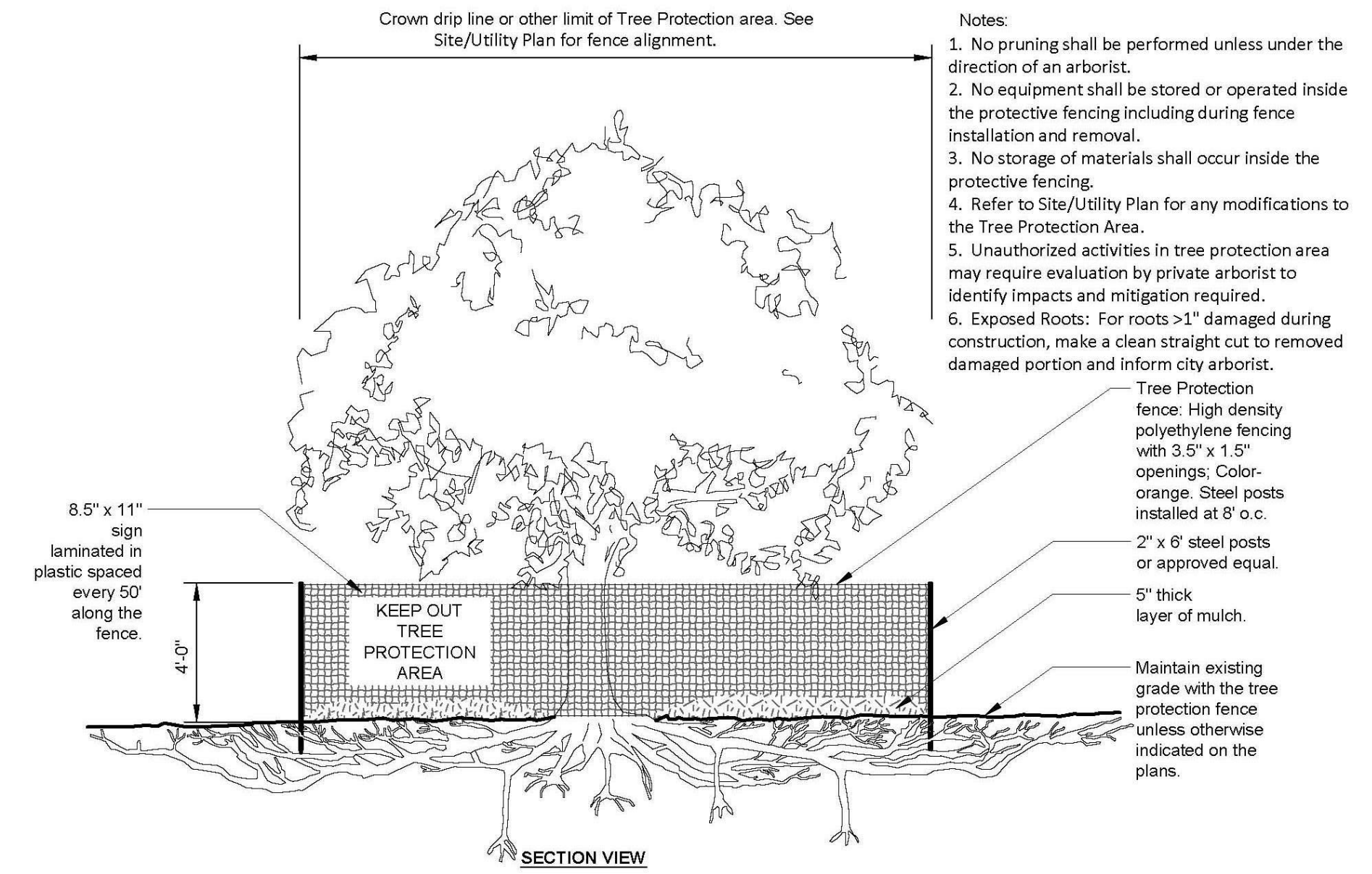
A001

Printed: 5/8/21

Tree #	On-site	Species	DBH"	Drpln rad'	Cndtn	Comments	Designation	Rmv	Rtn
1	X	Acer macrophyllum, Big leaf maple	24.8	5E, 18NSW	Fair	Mal-pruned, poor balance of structure. See photo in report	Large	X	
2		Cotinus, Smoke tree	2-6"	12' North	Fair	Off-site large shrub or small tree. Heavy limb overhangs subject property driveway.	Non-reg		X
3		Prunus, cherry	approx 30"	15' North	Good	Seasonally defoliated, overhangs subject property.	Exceptional		X
4	X	Azalea	Shrub	8'	Good	Very old Azalea that has grown into small, low-branched tree-form.	Non-reg		X
5	X	Prunus, cherry	14.5	3'	Poor	Severely broken top, risk of further failure. See photo in report	Large		X
6	X	Pinus nigra, Black pine	22.2	15'	Excellent	Excellent condition	Large		X
7		Chamaecyparis, Goldthread cypress	apprx2-12"	10'	Fair/Poor	Sparsely foliated, out-competed, large Pyramidalis around base.	Large		X
8		Betula, Birch	apprx 14"	10'	Poor	Significant dieback in tops, suspect Birch Bronze Borer infestation	Large		X
9	X	Prunus, cherry	8.8	15' West	Poor	Old 10" stem cut off at base w/decay, broken top, poor structure	Non-reg		X
10		Pseudotsuga menziesii, Douglas fir	apprx 15"	15'	Good	50% Live crown ratio, located Off-site.	Large		X
11		Betula, Birch	apprx 10"		Fir	Under canopy of Tree #10, may be one-tree at base with Tree #12	Large		X
12		Betula, Birch	apprx 10"		Fair	Under canopy of Tree #10, may be one-tree at base with Tree #11	Large		X

The following mitigation measures should be implemented prior to any clearing or grading activities. The following bulleted items should be included on the Tree Retention & Replanting plan sheet and/or other plan set pages that detail clearing and grading standards.

- Tree Protection Measures (TPM) should be 4' tall orange poly fencing, or equivalent, staked into place at the Limits of Disturbance (LOD), and as detailed in the referenced site plan.
- Signage shall be provided every 20' along the sections of TPM stating the fence provides a "Tree Protection Zone" – "No Soils, Building Materials or Equipment Allowed in Protection Zone". These signs should be 8.5" by 11.0" and made to be weather resistant.
- Any roots encountered during site clearing, grading, or excavation should be cleanly cut as-if it were a root from a tree scheduled for retention.
- Root pruning, as needed, should be undertaken with care. Additional pruning standards are detailed in ANSI Standard A300 (Part8)-2013 Root Management.
- All exposed roots should be covered with moist native soil or a commercial compost or mulch product, sufficient to cover the freshly cut roots as soon as is reasonable following exposure.
- All bare soils around the retained trees should be covered with 3" of arborist wood chips or a commercial mulch material.
- If limb removal is needed in order to provide building clearance, such pruning should be undertaken by a tree professional and should be done with proper pruning equipment.
- The on-site retained trees would benefit from additional summer-time hydration, as may be possible.



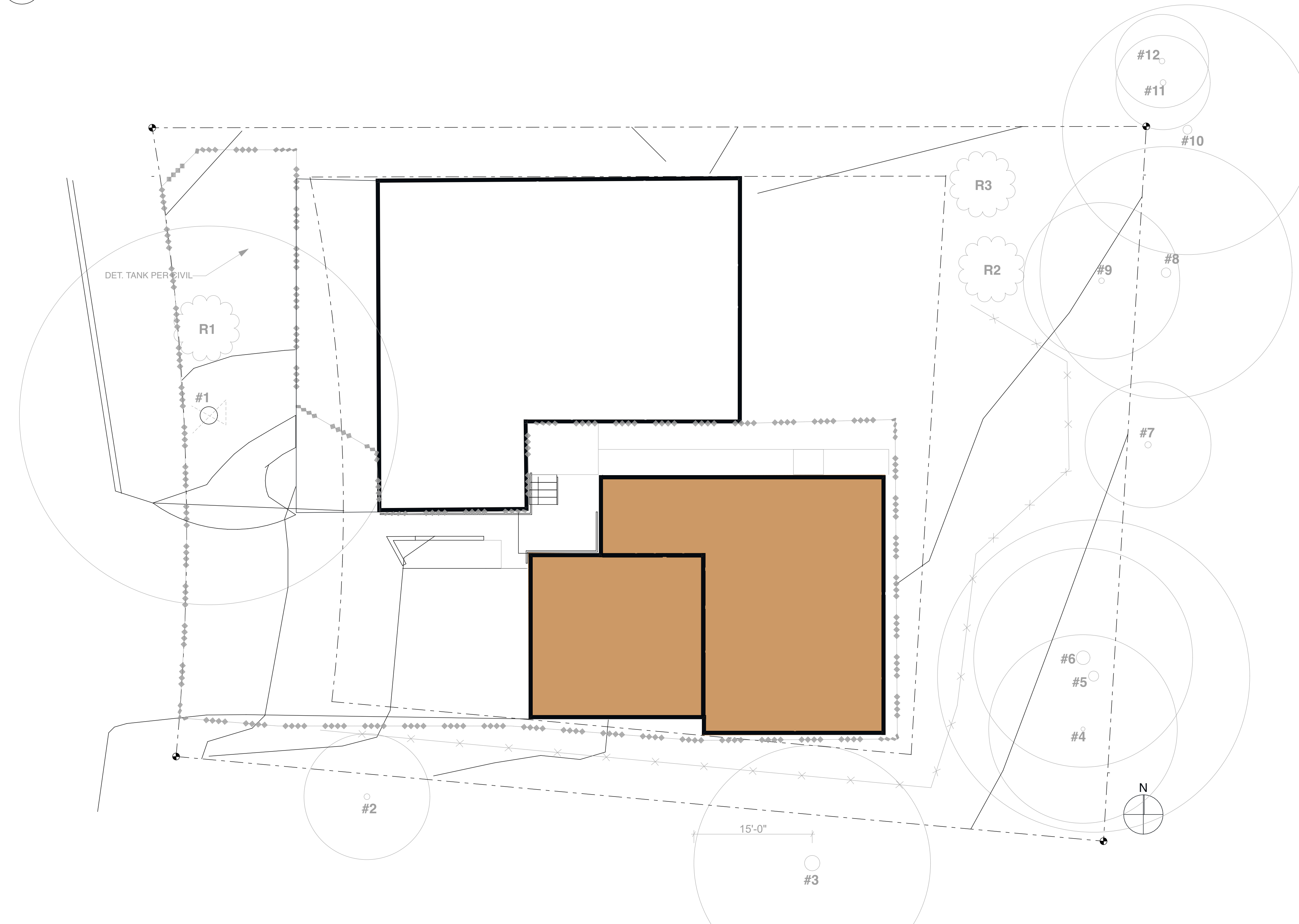
TREE PROTECTION DETAIL

2 A002 treeprotectionfencingdetail

SCALE: 1:0.80

3 A002 ISA Chan Tree Invnry 12292020(1).xlsx - Read-Only

SCALE: 1:0.81



--- LIMITS OF DISTURBANCE

X DEMOLISH TREE

R1 REPLACEMENT TREE 1: ACER PALMATUM, JAPANESE MAPLE 2" CALIPER

R2 REPLACEMENT TREE 2: AMELANCHIER SERVICEBERRY 2" CALIPER

R3 REPLACEMENT TREE 3: THUJA PLICATA WESTERN RED CEDAR 6" MIN

--- TREE PROTECTION: SEE DETAIL THIS SHEET

0 4 8 16

1 A002 Tree Retention & Replanting

SCALE: 1/8" = 1'-0"



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Tree Retention & Replanting

A002

LEGAL DESCRIPTION

(PER STATUTORY WARRANTY DEED RECORDING# 20120628001442)
 LOT 3, BLOCK 4, TWIN VIEW NO. 2, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 64 OF PLATS, PAGES 90 AND 91, IN KING COUNTY, WASHINGTON.

BASIS OF BEARINGS

THE CENTERLINE N.E. 71ST ST.
 BEARING = NORTH 88°41'04" WEST PER R1.

REFERENCES

R1. PLAT OF TWIN VIEW NO.2, VOL.64, PAGES 90-91, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

NAVD88, PER GPS OBSERVATIONS.

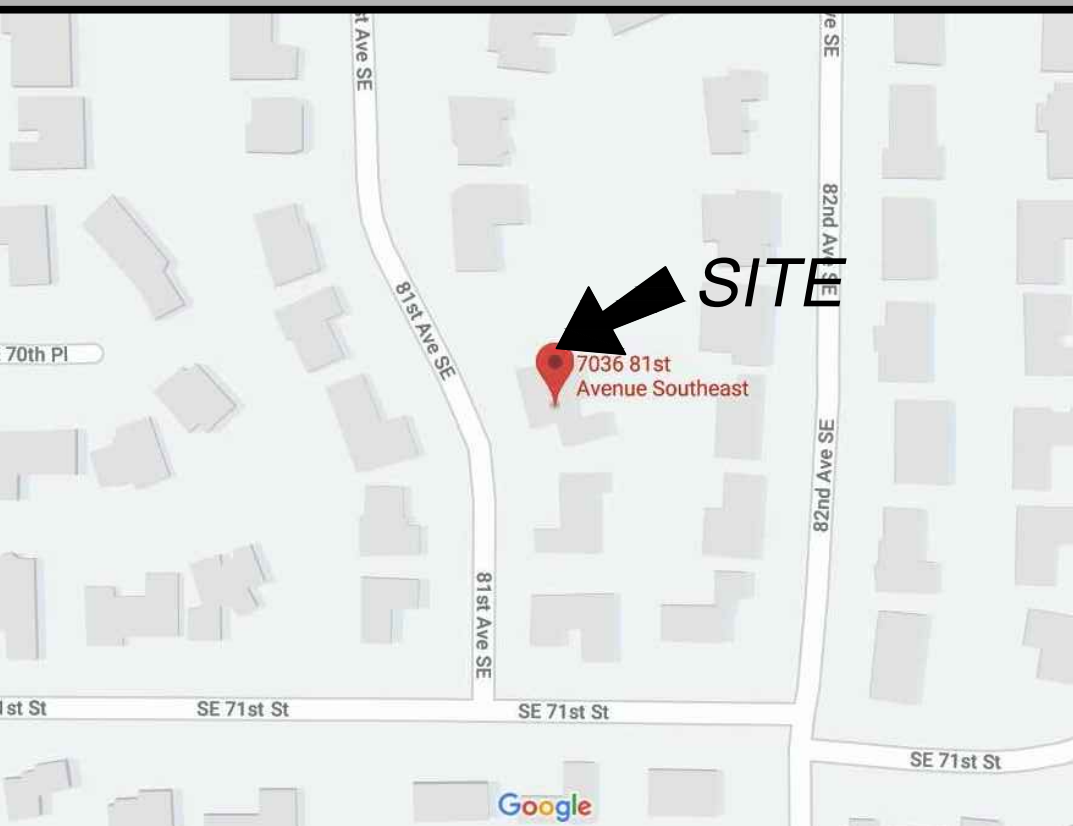
SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN DECEMBER OF 2019. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 873230-0240
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 10,246 ±S.F. (0.24 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

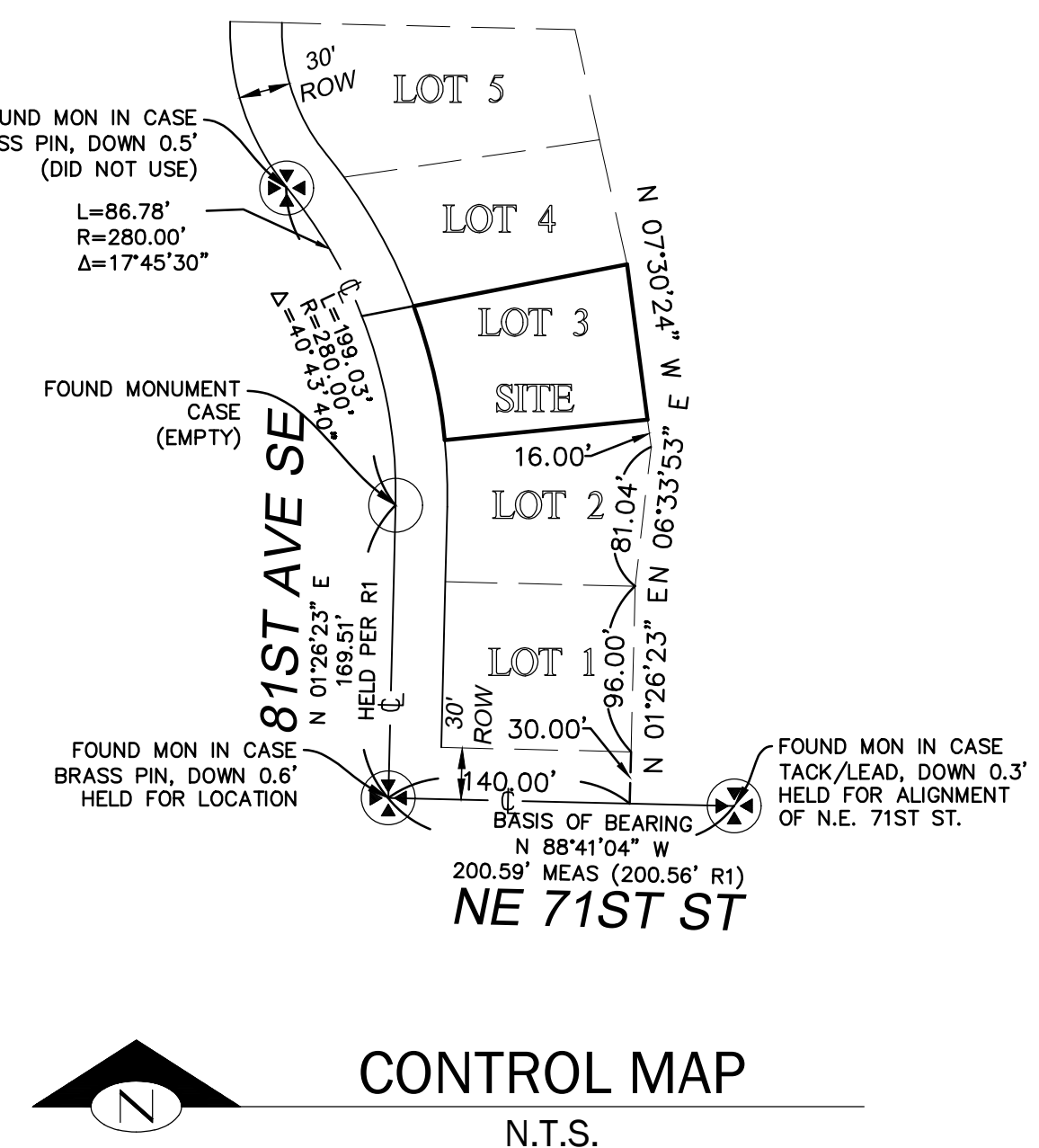
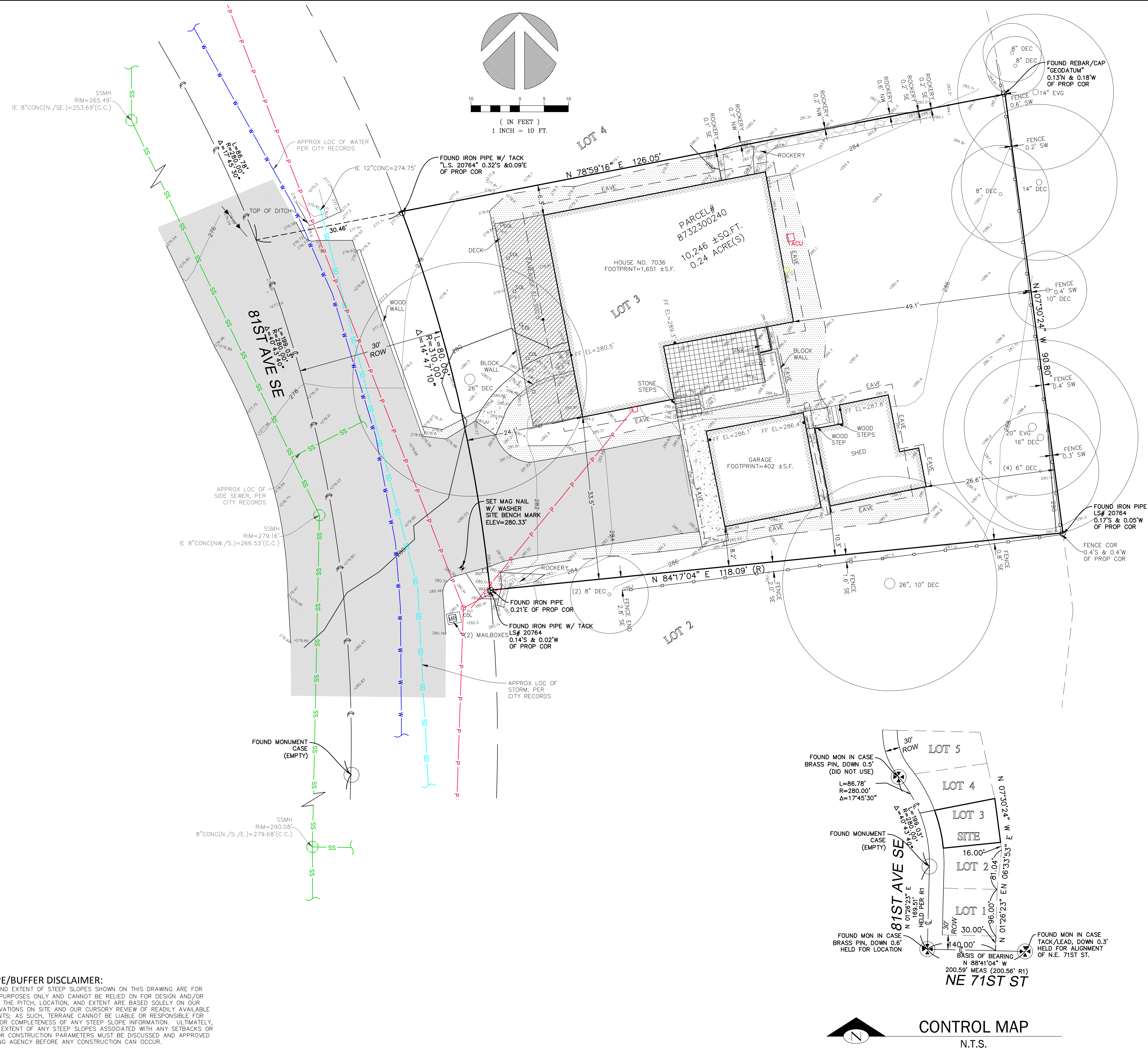
LEGEND

AIR CONDITION UNIT	MONUMENT IN CASE (FOUND)
ASPHALT SURFACE	PAVER SURFACE
BENCHMARK	POWER METER
BUILDING	POWER (OVERHEAD)
CENTERLINE ROW	POWER POLE
CULVERT PIPE	REBAR AS NOTED (FOUND)
CONCRETE SURFACE	ROCKERY
RETAINING WALL	SEWER LINE
DECK	SEWER MANHOLE
DITCH (FLOWLINE)	STORM DRAIN LINE
FENCE LINE (WOOD)	TREE (AS NOTED)
GAS METER	WATER LINE
GRAVEL SURFACE	WATER METER
GUY ANCHOR	COLUMN
MAILBOX (RESIDENTIAL)	

VICINITY MAP
N.T.S.



TOPOGRAPHIC & BOUNDARY SURVEY



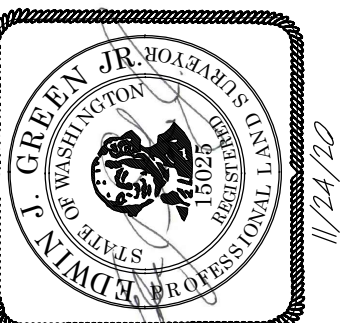
STEEP SLOPE/BUFFER DISCLAIMER:
 THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS. AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

measure success

TOPOGRAPHIC & BOUNDARY SURVEY
 SE 1/4 OF NE 1/4 SEC 25, TWP. 24N., RGE 04E., W. 1/4M.
 PARCEL NO. 8732300240

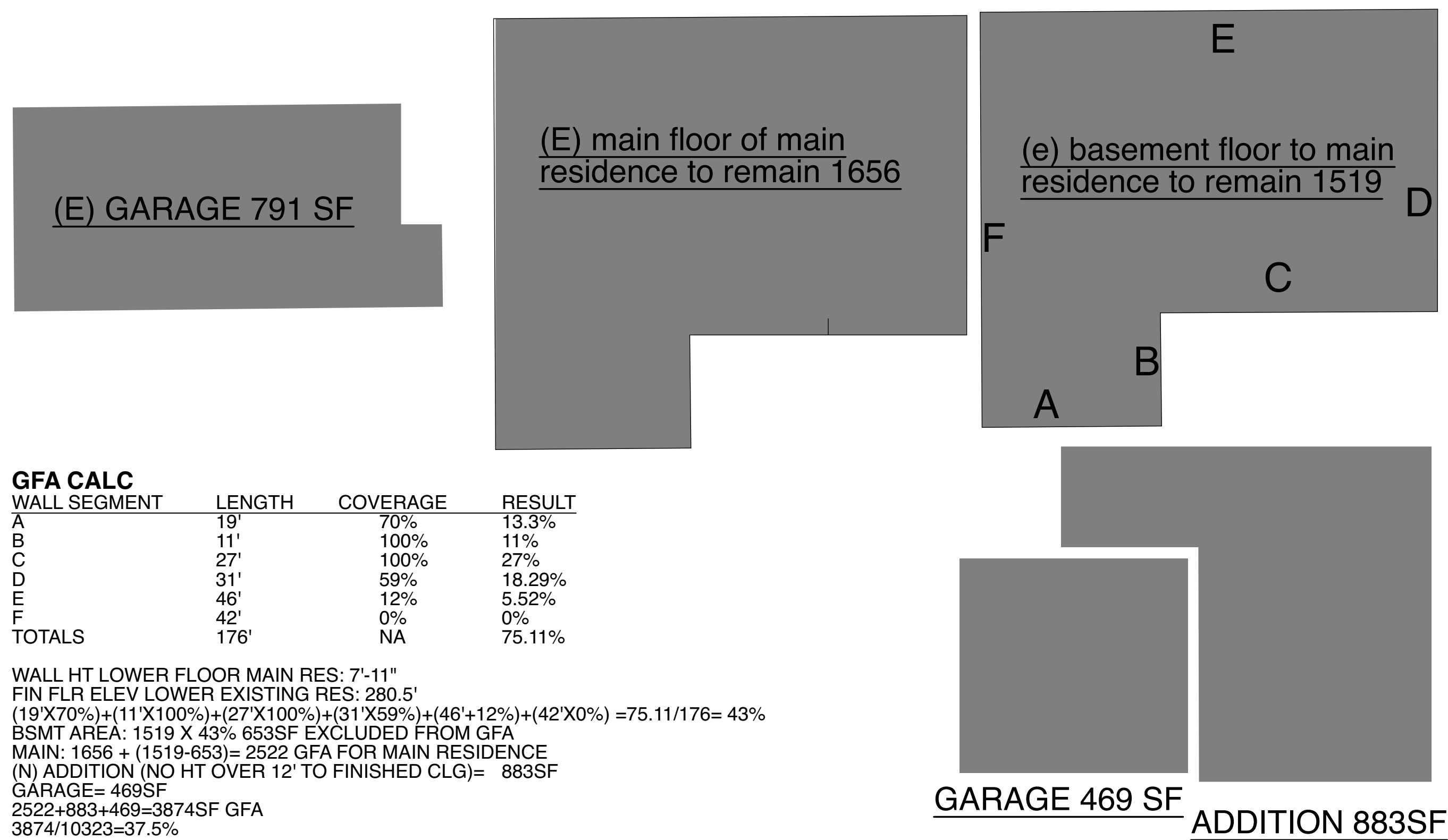
CHAN RESIDENCE

7036 81ST AVE SE
 MERCER ISLAND, WA 98040



Terrane
 10801 Main Street, Suite 102, Bellevue, WA 98004
 phone 425.458.4488 support@terrane.net
 www.terrane.net

JOB NUMBER:	192166
DATE:	12/19/19
DRAFTED BY:	IDV-MD
CHECKED BY:	EJG/TMM
SCALE:	1" = 10'
REVISION HISTORY	
11/24/20	NOTED SITE B.M.
SHEET NUMBER	
1 OF 1	



GFA CALC

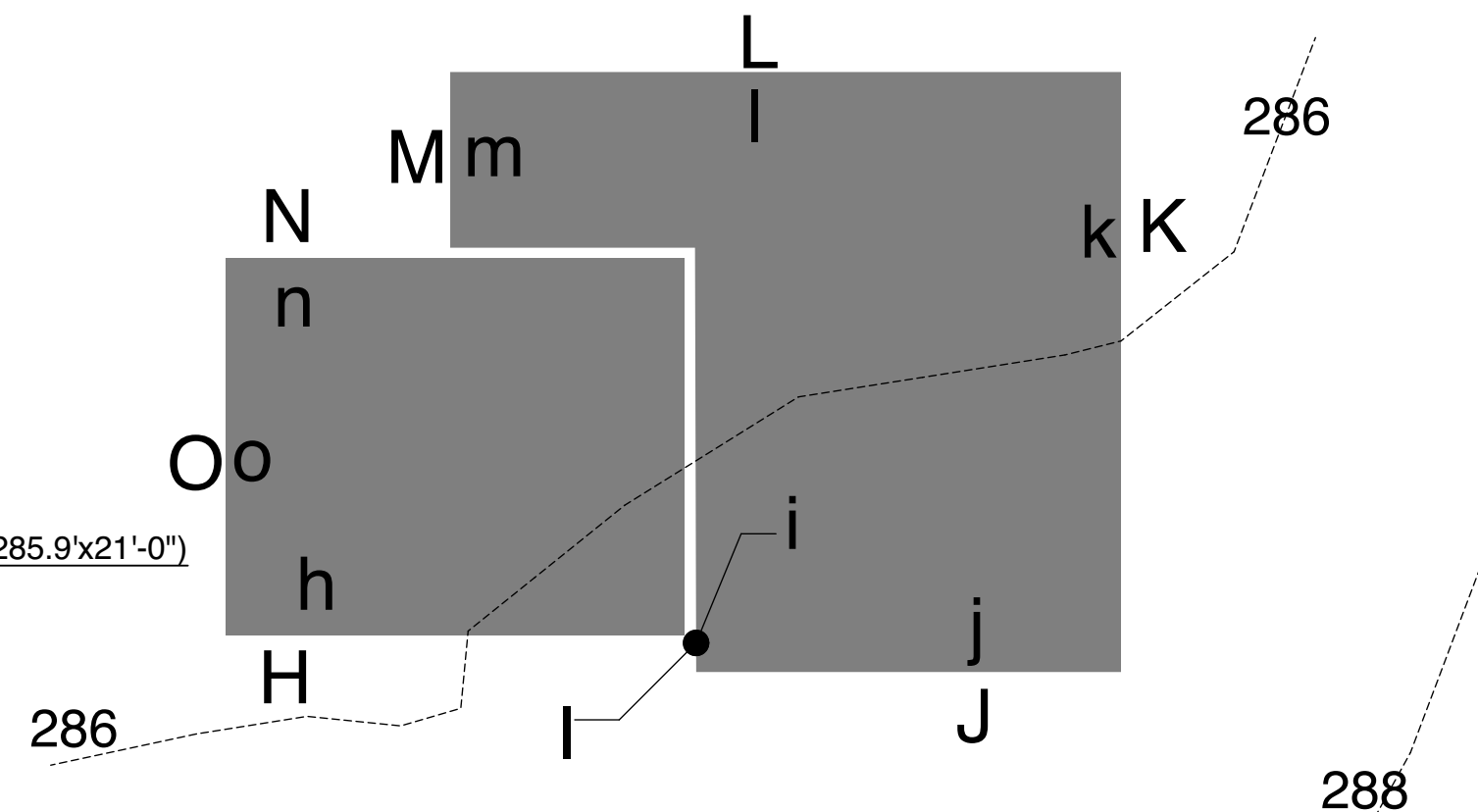
WALL SEGMENT	LENGTH	COVERAGE	RESULT
A	19'	70%	13.3%
B	11'	100%	11%
C	27'	100%	27%
D	31'	59%	18.29%
E	46'	12%	5.52%
F	42'	0%	0%
TOTALS	176'	NA	75.11%

WALL HT LOWER FLOOR MAIN RES: 7'-11"
 FIN FLR ELEV LOWER EXISTING RES: 280.5'
 $(19 \times 70\%) + (11 \times 100\%) + (27 \times 100\%) + (31 \times 59\%) + (46 \times 12\%) + (42 \times 0\%) = 75.11/176 = 43\%$
 BSMT AREA: 1519 X 43% 653SF EXCLUDED FROM GFA
 MAIN: 1656 + (1519-653) = 2522 GFA FOR MAIN RESIDENCE
 (N) ADDITION (NO HT OVER 12' TO FINISHED CLG) = 883SF
 GARAGE = 469SF
 2522+883+469=3874SF GFA
 3874/10323=37.5%

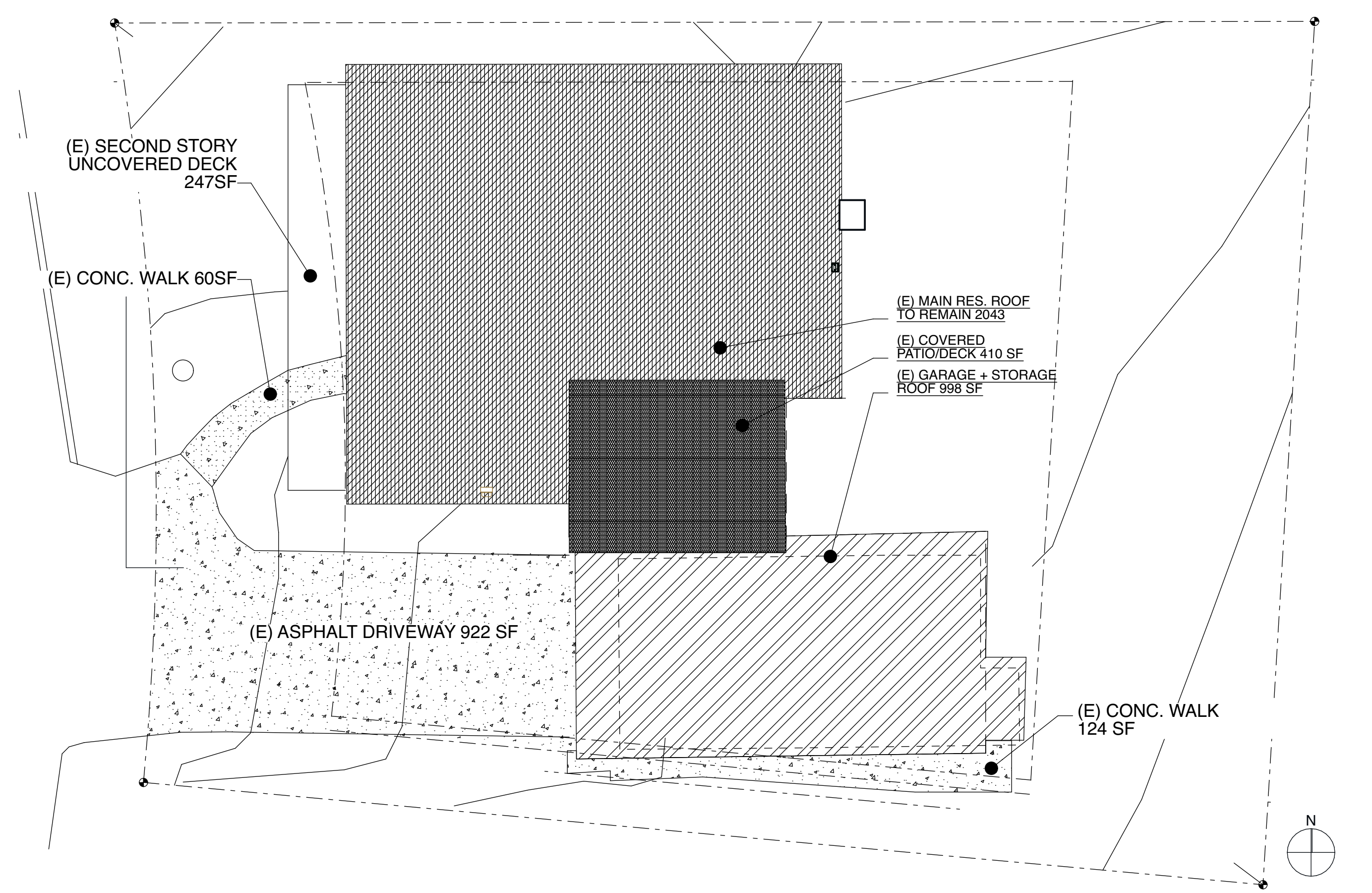
ABE CALC

MIDPT ELEV.	WALL SEGMENT LENGTH
H=286.0'	22'
I=286.2'	2'
J=286.8'	23'-7"
K=286.2'	31'-11"
L=285.8'	36'-9"
M=285.7'	9'-11"
N=285.9'	8'-11"
O=285.9'	21'-0"

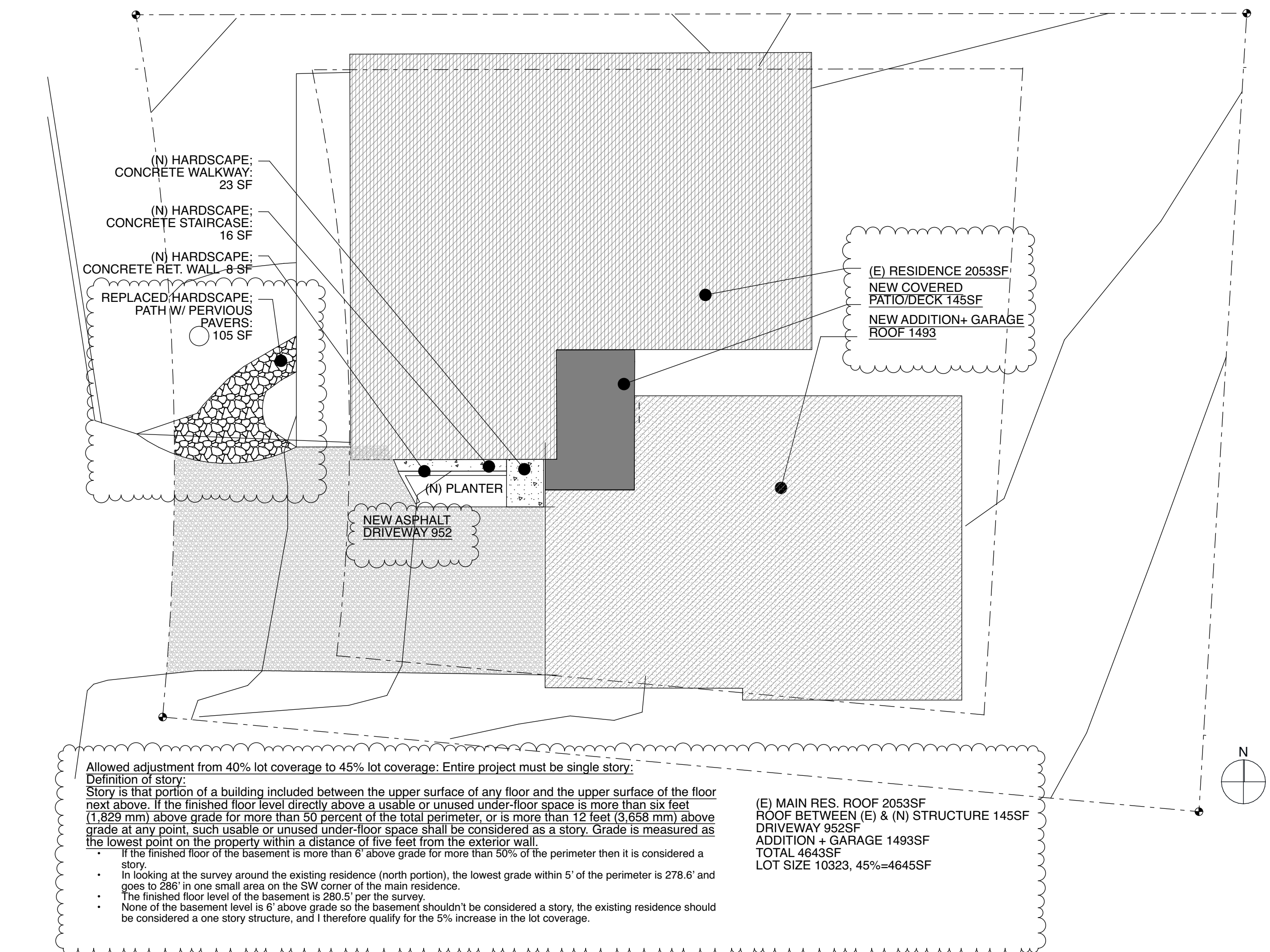
$(286 \times 22) + (286.2 \times 2) + (286.8 \times 23'-7") + (286.2 \times 31'-11") + (285.8 \times 36'-9") + (285.7 \times 9'-11") + (285.9 \times 8'-11") + (285.9 \times 21'-0")$
 $22 + 2 + 23'-7" + 31'-11" + 36'-9" + 9'-11" + 8'-11" + 21"$
 $6292 + 572 + 6763 + 9134 + 10503 + 2833 + 2549 + 6004 = \frac{44650}{156}$
 ABE = 286.2'



3 CALCS
 A003 SCALE: 1" = 10'



2 EXISTING LOT COVERAGE
 A003 SCALE: 1" = 10'



1 NEW LOT COVERAGE & HARDSCAPE PLANS
 A003 SCALE: 1" = 10'
 CIVIL NOTES TO PROVIDE 2" OF SOIL OVER REQUIRED DRAINAGE IMPLEMENTATION SO NOT INCLUDED IN LOT COVERAGE

Allowed adjustment from 40% lot coverage to 45% lot coverage: Entire project must be single story.
 Definition of story:
 Story is that portion of a building included between the upper surface of any floor and the upper surface of the floor next above. If the finished floor level directly above a usable or unused under-floor space is more than six feet (1,829 mm) above grade for more than 50 percent of the total perimeter, or is more than 12 feet (3,658 mm) above grade at any point, such usable or unused under-floor space shall be considered as a story. Grade is measured as the lowest point on the property within a distance of five feet from the exterior wall.
 • If the finished floor of the basement is more than 6' above grade for more than 50% of the perimeter then it is considered a story.
 • In looking at the survey around the existing residence (north portion), the lowest grade within 5' of the perimeter is 278.6' and goes to 286' in one small area on the SW corner of the main residence.
 • The finished floor level of the basement is 280.5' per the survey.
 • None of the basement level is 6' above grade so the basement shouldn't be considered a story, the existing residence should be considered a one story structure, and I therefore qualify for the 5% increase in the lot coverage.

WASCHA STUDIOS
 ART | ARCHITECTURE

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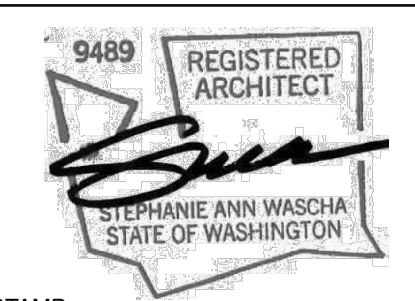
9489 REGISTERED ARCHITECT
 STEPHANIE ANN WASCHA
 STATE OF WASHINGTON

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 05.08.21

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CALCS
A003
 Printed: 5/8/21



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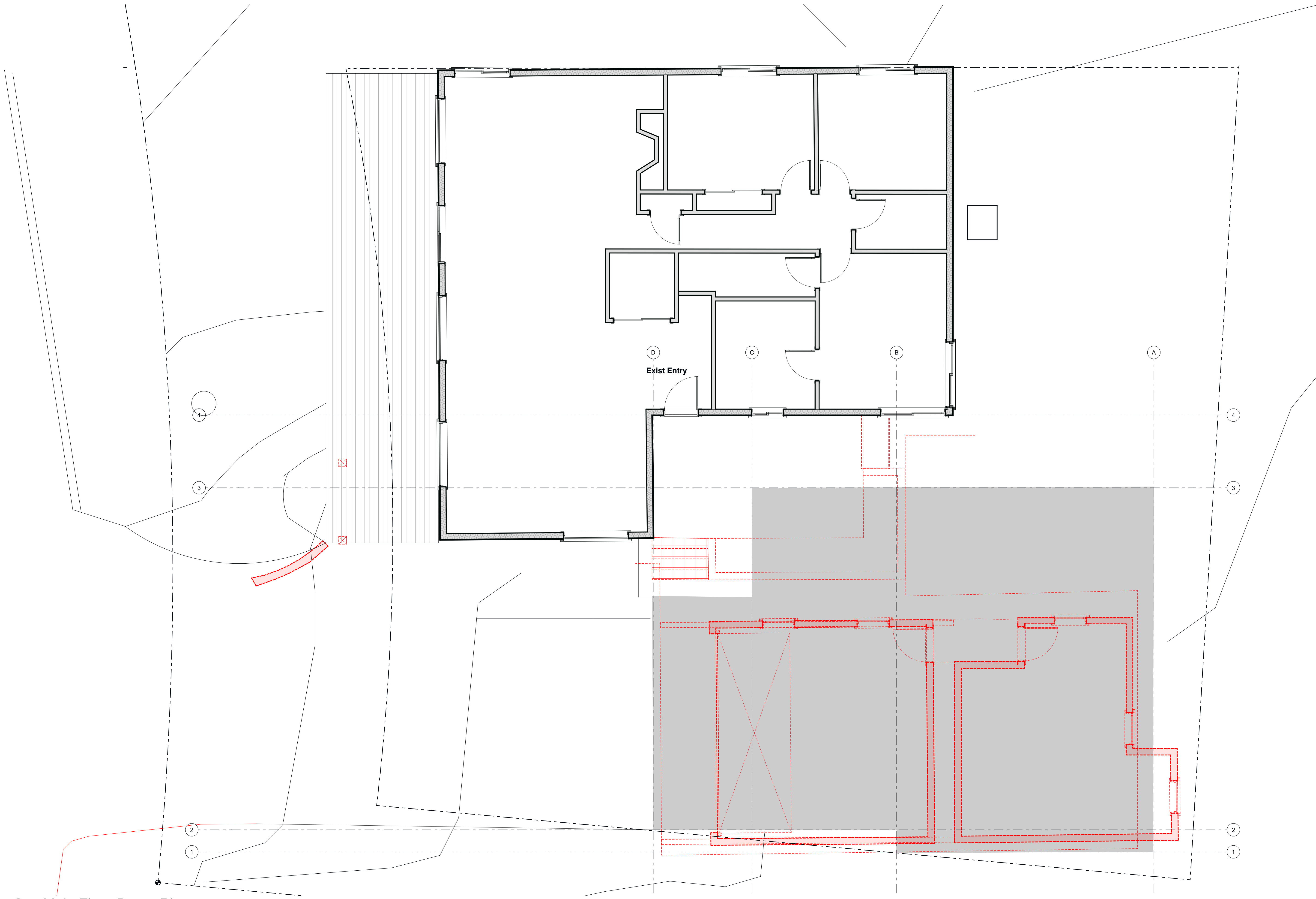
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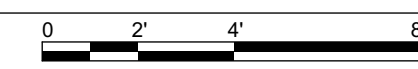
Demolition Main Level
 Plan

A004

Printed: 5/8/21



1
A004 Main Floor Demo Plan
 SCALE: 1/4" = 1'-0"



Vertical Glazing Window and Door Schedule (conditioned space)

Ganged Unit	Element ID	Manufacturer	Type	Width	Height	QTY.	Total VGA	U-value	VGAXU=	NFRC-Certification No.	Area (sq. ft.)	Egress	Tempered	Note
Not Ganged														
	D01	Undefined	Garage Door	18'-0"	8'-0"	1	0.00	.3	0.00		144.00	No	No	
	D02	Undefined	Inswing Door	3'-0"	6'-8"	1	0.00	.3	0.00		20.00	No	No	20 MIN RATED
	D04	Undefined	Inswing Door	3'-0"	6'-8"	1	0.00	.3	0.00		20.00	No	No	
	D08	Undefined	Inswing Door	3'-0"	6'-8"	1	0.00	.3	0.00		20.00	No	No	
	W01	Undefined	Fixed	2'-7 1/2"	2'-10 1/4"	1	0.00	.3	0.00		7.45	No	No	
	W02	Undefined	Fixed	4'-0"	2'-0"	1	0.00	.3	0.00		8.00	No	Yes	
	W03	Undefined	Fixed	4'-0"	2'-0"	1	0.00	.3	0.00		8.00	No	Yes	
	W04	Undefined	Casement	2'-0"	5'-4"	1	0.00	.3	0.00		10.67	No	Yes	
	W05	Undefined	Casement	2'-0"	5'-4"	1	0.00	.3	0.00		10.67	No	Yes	
	W06	Undefined	Casement	2'-0"	5'-4"	1	0.00	.3	0.00		10.67	No	Yes	
	W07	Undefined	Sliding Window	4'-6"	3'-0"	1	0.00	.3	0.00		13.50	No	No	
	W08	Undefined	Double Awning	2'-0"	1'-6"	1	0.00	.3	0.00		3.00	No	No	
	W09	Undefined	Double Awning	2'-0"	1'-6"	1	0.00	.3	0.00		3.00	No	No	
	W10	Undefined	Double Awning	2'-0"	1'-6"	1	0.00	.3	0.00		3.00	No	No	
	W11	Undefined	Casement	2'-6"	4'-0"	1	0.00	.3	0.00		10.00	No	No	
	W12	Undefined	Casement	2'-6"	4'-0"	1	0.00	.3	0.00		10.00	Yes	No	
	W13	Undefined	Double Awning	2'-6"	2'-6"	1	0.00	.3	0.00		6.25	No	No	
	W14	Undefined	Double Awning	2'-6"	2'-6"	1	0.00	.3	0.00		6.25	No	No	
	W15	Undefined	Casement	2'-6"	4'-0"	1	0.00	.3	0.00		10.00	Yes	No	
	W16	Undefined	Fixed	2'-7 1/2"	4'-0"	1	0.00	.3	0.00		10.48	No	No	
	W17	Undefined	Fixed	2'-7 1/2"	4'-0"	1	0.00	.3	0.00		10.48	No	No	
	W18	Undefined	Fixed	2'-7 1/2"	4'-0"	1	0.00	.3	0.00		10.48	No	No	
							22	0.00	0.00		355.90 sq ft			

Interior Door Schedule

Label	From Zone	To Zone	Type	Width	Height	Hardware Set	QTY	Note
Main Level								
D03	<Undefined>	Garage	Undefined	3'-0"	6'-8"	Undefined	1	
D03	Garage	Garage	Undefined	3'-0"	6'-8"	Undefined	1	
D05	Addition Entry	<Undefined>	Sliding Door	4'-0"	6'-8"	Undefined	1	
D06	LA	Entry Hall	Undefined	3'-0"	6'-8"	Undefined	1	
D07	Entry Hall	Powder	Undefined	2'-6"	6'-8"	Undefined	1	
D09	Kitchen	Office	Pocket Door	3'-0"	6'-8"	Undefined	1	
D10	M.Hall	<Undefined>	Undefined	3'-0"	6'-8"	Undefined	1	
D11	M.Hall	M.Bath	Undefined	3'-0"	6'-8"	Undefined	1	
D12	Linen	M.Hall	Undefined	2'-6"	6'-8"	Undefined	1	
							9	

Skylight Schedule

Label	Type	QTY.	Width	Height	Note
S1		1	2'-0"	3'-6"	U-VALUE .50 MIN
S2		1	2'-0"	3'-6"	U-VALUE .50 MIN
S3		1	2'-0"	3'-6"	U-VALUE .50 MIN
		3			

Appliance Schedule

Label	Manufacturer	Model	QTY.	Note
SMOKE & CARBON DET.	Undefined	Undefined	11	
Entry Hall				
SMOKE & CARBON DET.	Undefined	Undefined	2	
Garage				
REFRIGERATOR	Undefined	Undefined	1	
SMOKE & CARBON DET.	Undefined	Undefined	2	
Kitchen				
HOOD	Undefined	Undefined	1	
MICRO/CONVECTION	Undefined	Undefined	1	
RANGE TOP	Undefined	Undefined	1	
REFRIGERATOR	Undefined	Undefined	1	
WD	Undefined	Undefined	1	
LA				
WASHER/ DRYER/ FAN	Undefined	Undefined	3	
M.Bath				
FAN	Undefined	Undefined	1	
M.Hall				
SMOKE & CARBON DET.	Undefined	Undefined	2	
Office				
SMOKE DET	Undefined	Undefined	1	
Powder				
FAN	Undefined	Undefined	1	
Utility				
TANKLESS WATER HEATER	Undefined	Undefined	1	
			30	

Plumbing Fixtures

Label	Manufacturer	Model	QTY.	Note
Kitchen				
kitchen sink	Undefined	Undefined	1	
M.Bath				
toilet w/ washlet	TOTO toilet with TOTO SW2034#01 C100 Electronic Bidet Toilet Seat	Undefined	1	
vanity w/ 2 sinks/faucets	Undefined	Undefined	1	
Powder				
toilet	Undefined	Undefined	1	
vanity w/ sink/faucet	Undefined	Undefined	1	
Shwr				
Hand held shwr/controls	Undefined	Undefined	1	
			6	

CHAN ADDITION

7036 81ST AVE SE
MERCER ISLAND, WA
98040

Project Number:

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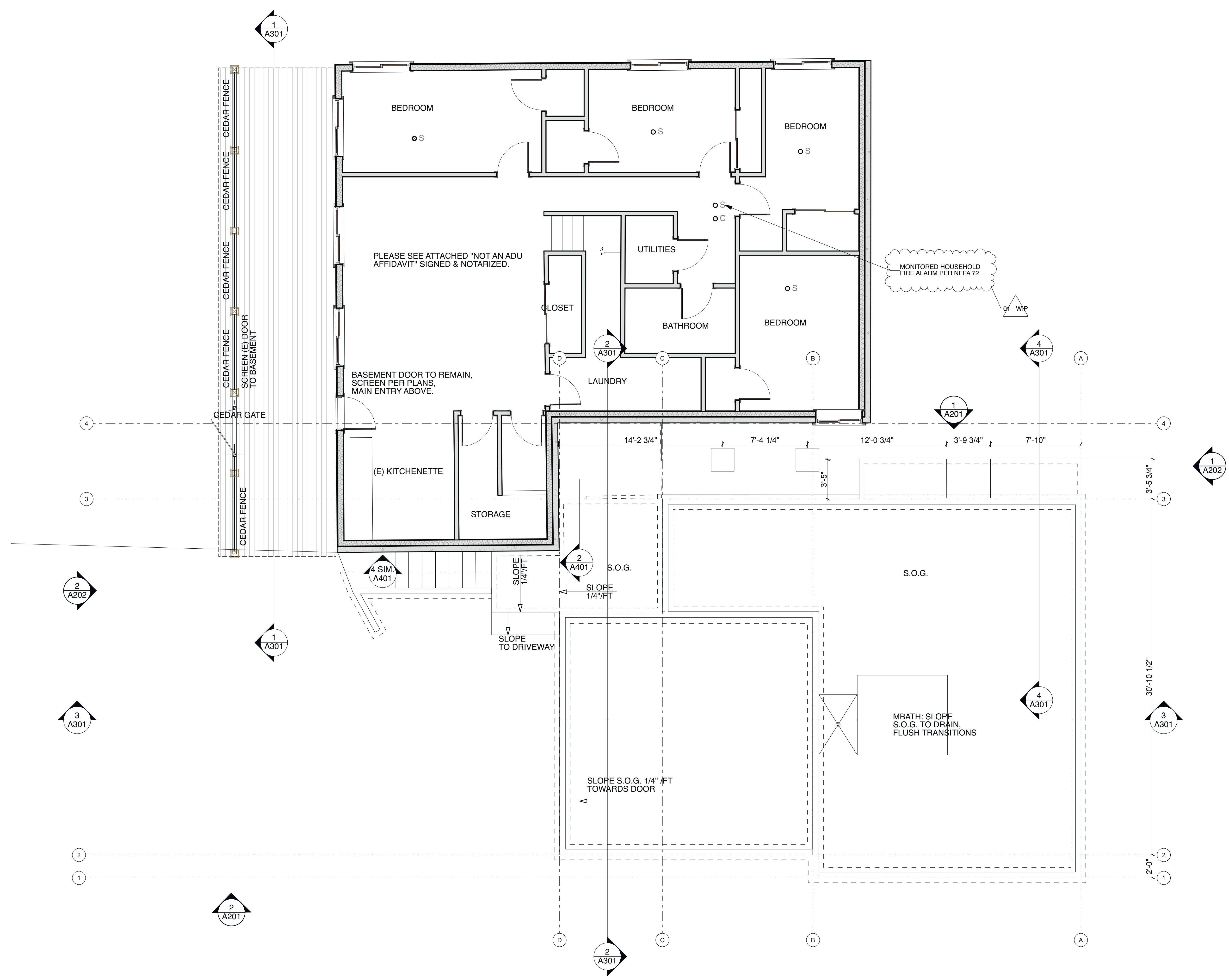
STAMP:

PERMIT SET
CORRECTIONS SUBMITTED
05.08.21

ISSUED:
01 - MODIFICATIONS 12.11.20

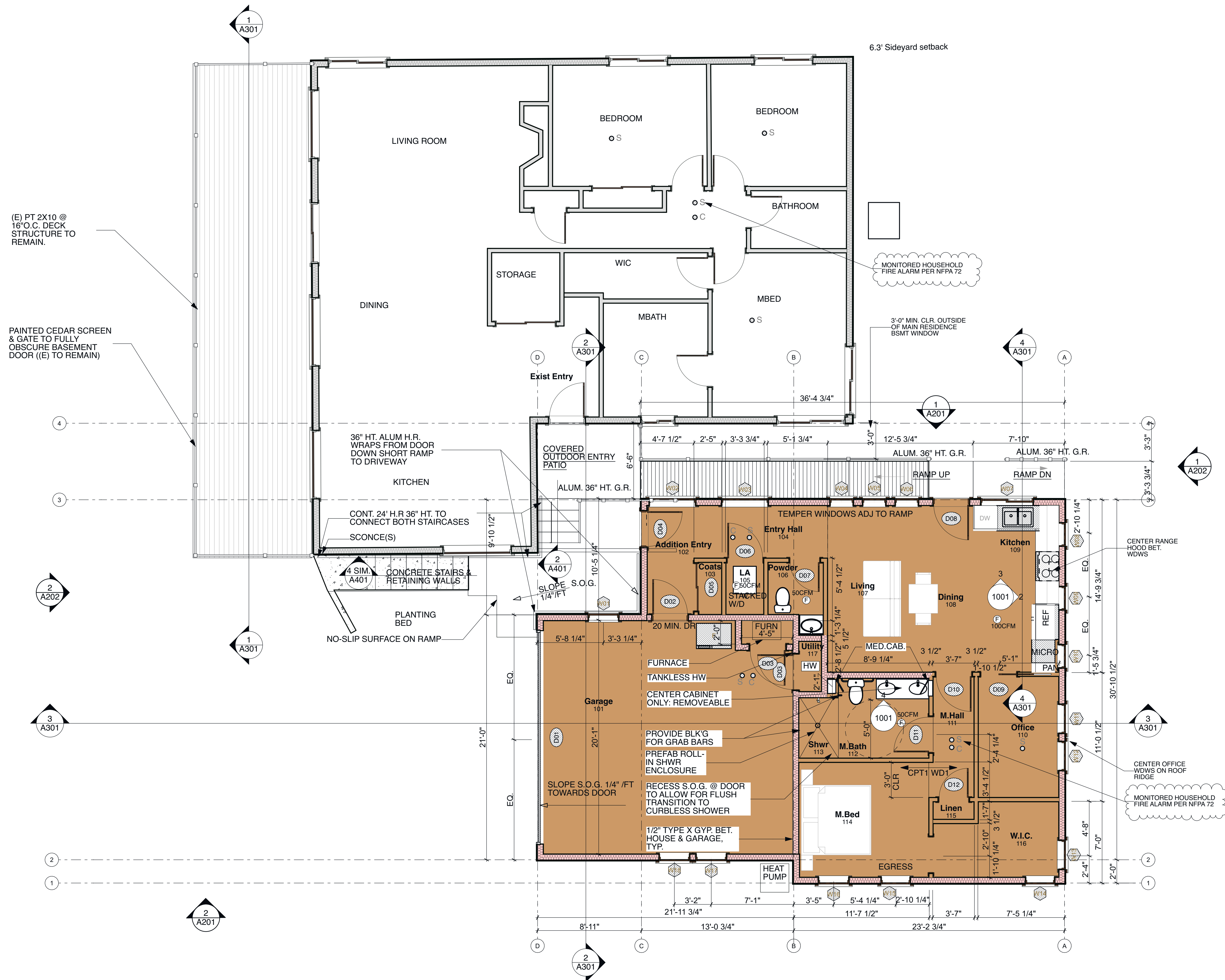
Schedules

A005



1
A101 Lower Level
SCALE: 1/4" = 1'-0"





(E) PT 2X10 @ 16" O.C. DECK STRUCTURE TO REMAIN.

PAINTED CEDAR SCREEN & GATE TO FULLY OBSCURE BASEMENT DOOR (E) TO REMAIN

6.3' Sideyard setback

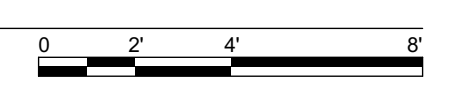
MONITORED HOUSEHOLD FIRE ALARM PER NFPA 72

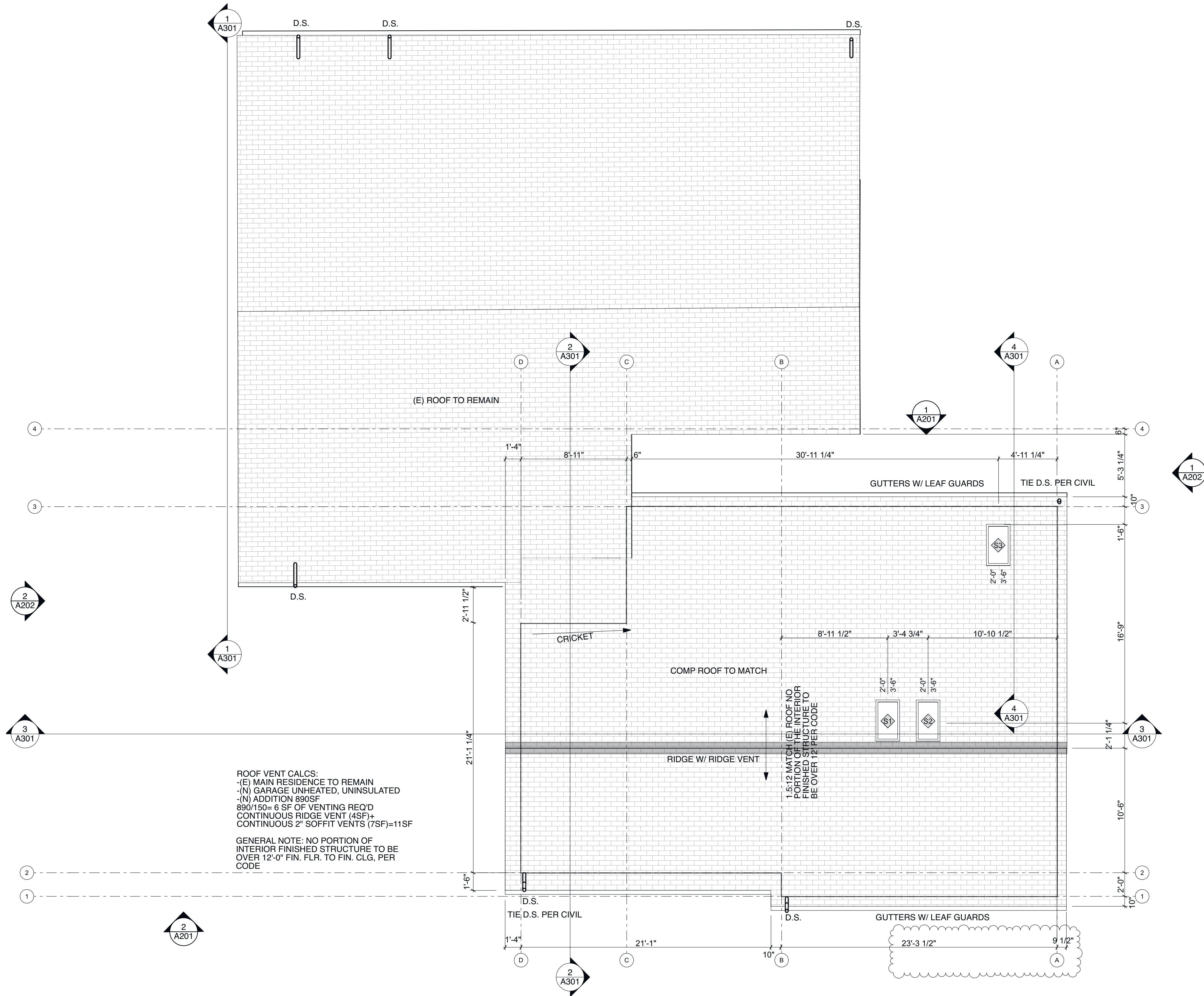
3'-0" MIN. CLR. OUTSIDE OF MAIN RESIDENCE BSMT WINDOW

2 A301

1 A102 Main Floor OPTION

SCALE: 1/4" = 1'-0"

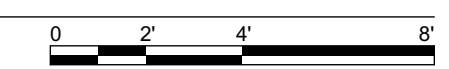




ROOF VENT CALCS:
-(E) MAIN RESIDENCE TO REMAIN
-(N) GARAGE UNHEATED, UNINSULATED
-(N) ADDITION 890SF
890/150= 6 SF OF VENTING REQ'D
CONTINUOUS RIDGE VENT (4SF)+
CONTINUOUS 2" SOFFIT VENTS (7SF)=11SF

GENERAL NOTE: NO PORTION OF
INTERIOR FINISHED STRUCTURE TO BE
OVER 12'-0" FIN. FLR. TO FIN. CLG. PER
CODE

1 Roof Plan
A103 SCALE: 1/4" = 1'-0"



**CHAN
ADDITION**

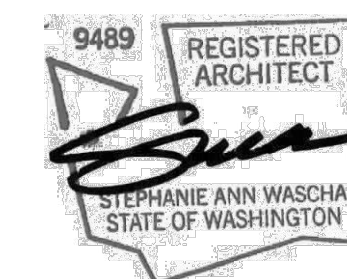
7036 81ST AVE SE
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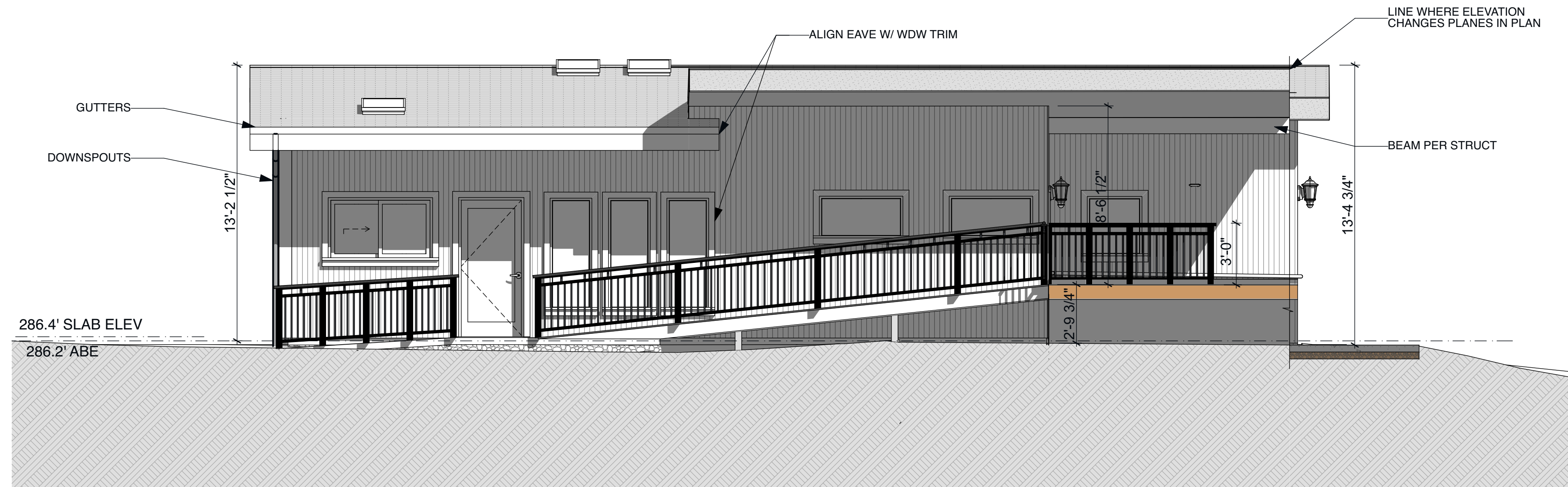
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PERMIT SET
CORRECTIONS SUBMITTED
05.08.21

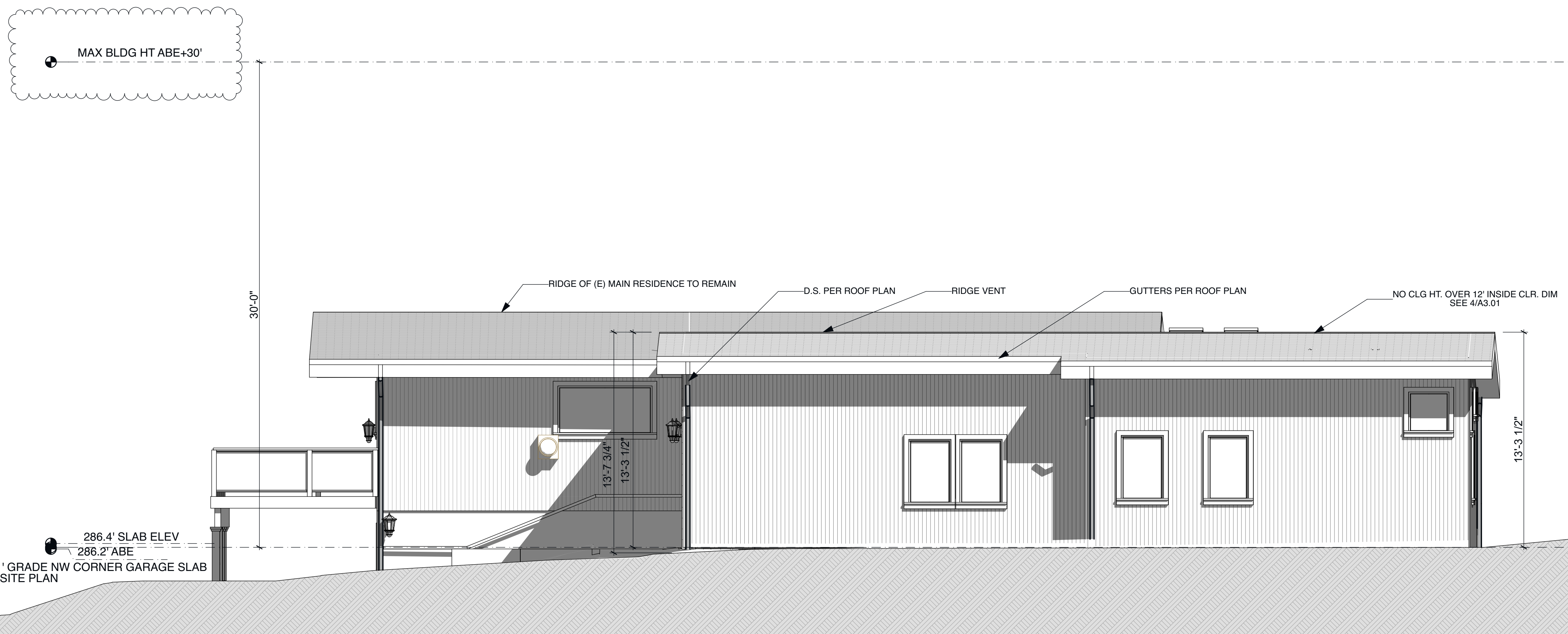
ISSUED:
01- MODIFICATIONS 12.11.20

N/S Elevation

A201

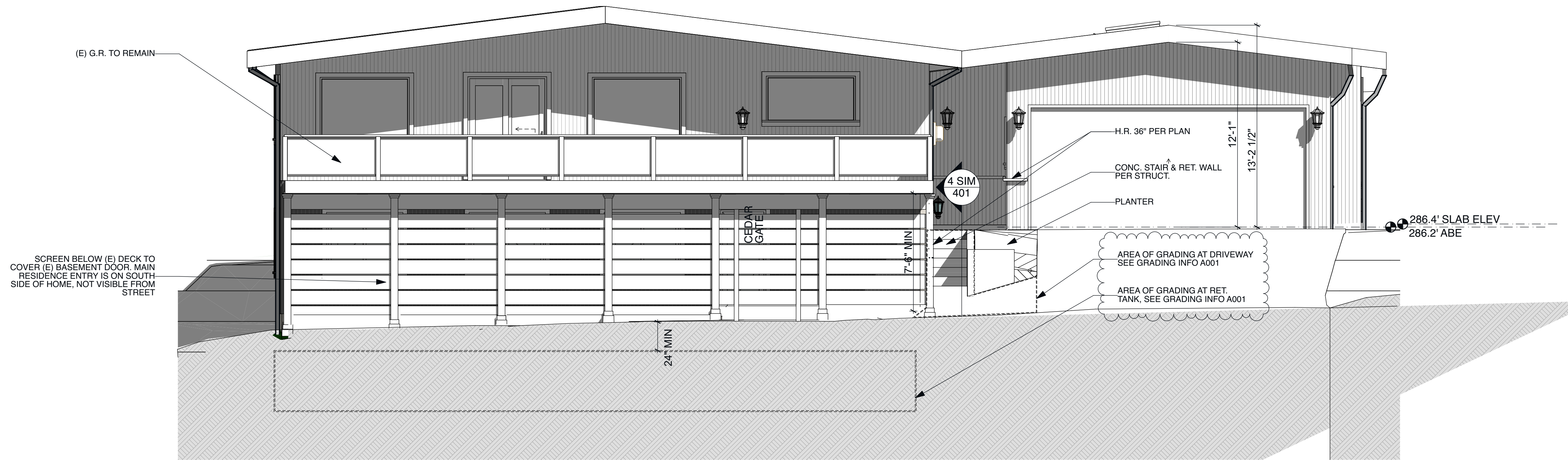


1 North Elevation
SCALE: 1/4" = 1'-0"

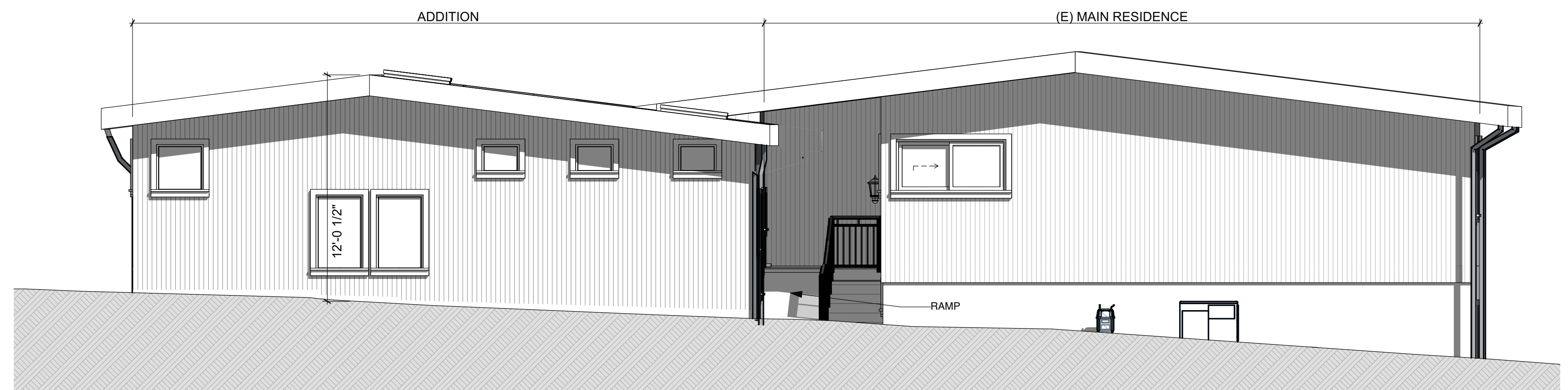


2 South Elevation
SCALE: 1/4" = 1'-0"

SEE A003 FOR ABE CACLS



2 West Elevation
A202 SCALE: 1/4" = 1'-0"



1 East Elevation
A202 SCALE: 1/4" = 1'-0"

**CHAN
ADDITION**

7036 81ST AVE SE
MERCER ISLAND, WA
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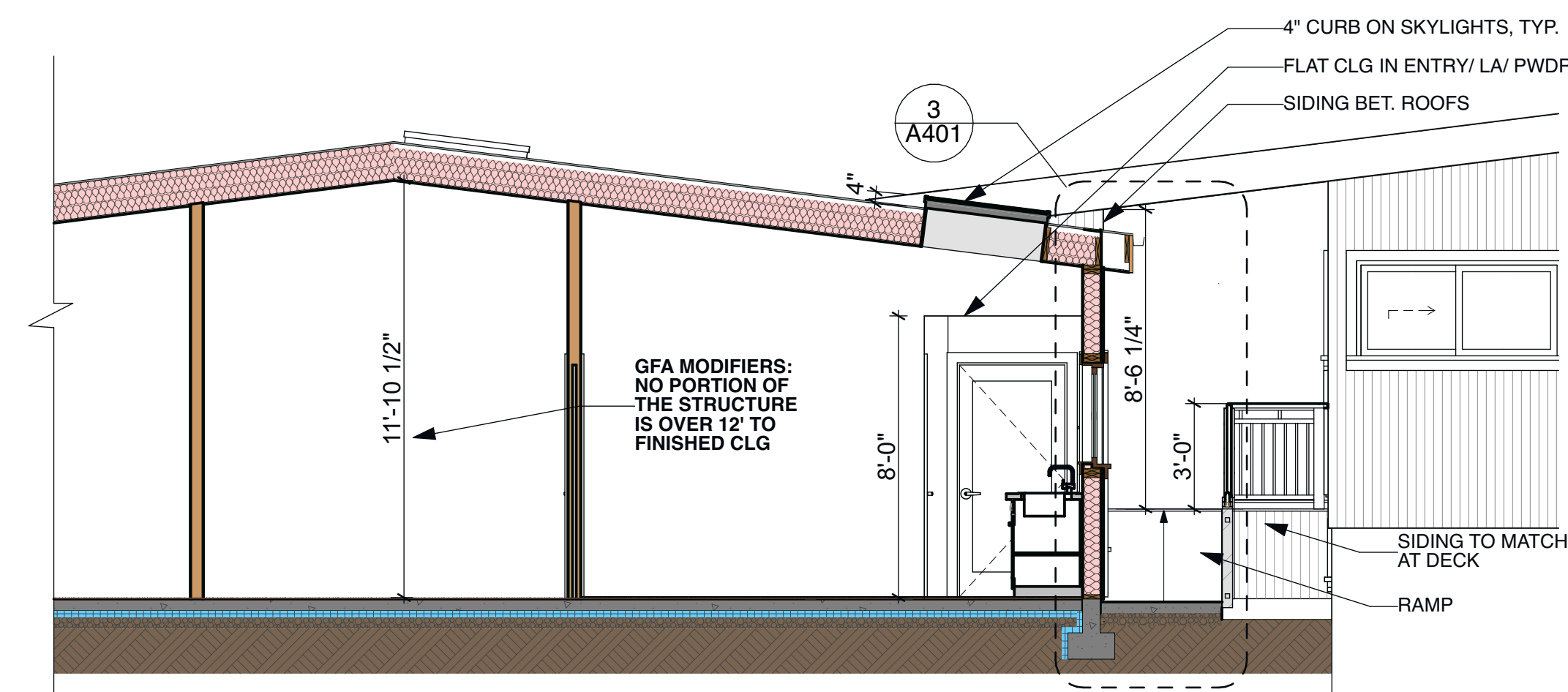
STAMP:

PERMIT SET
CORRECTIONS SUBMITTED
05.08.21

ISSUED:
01 - MODIFICATIONS 12.11.20

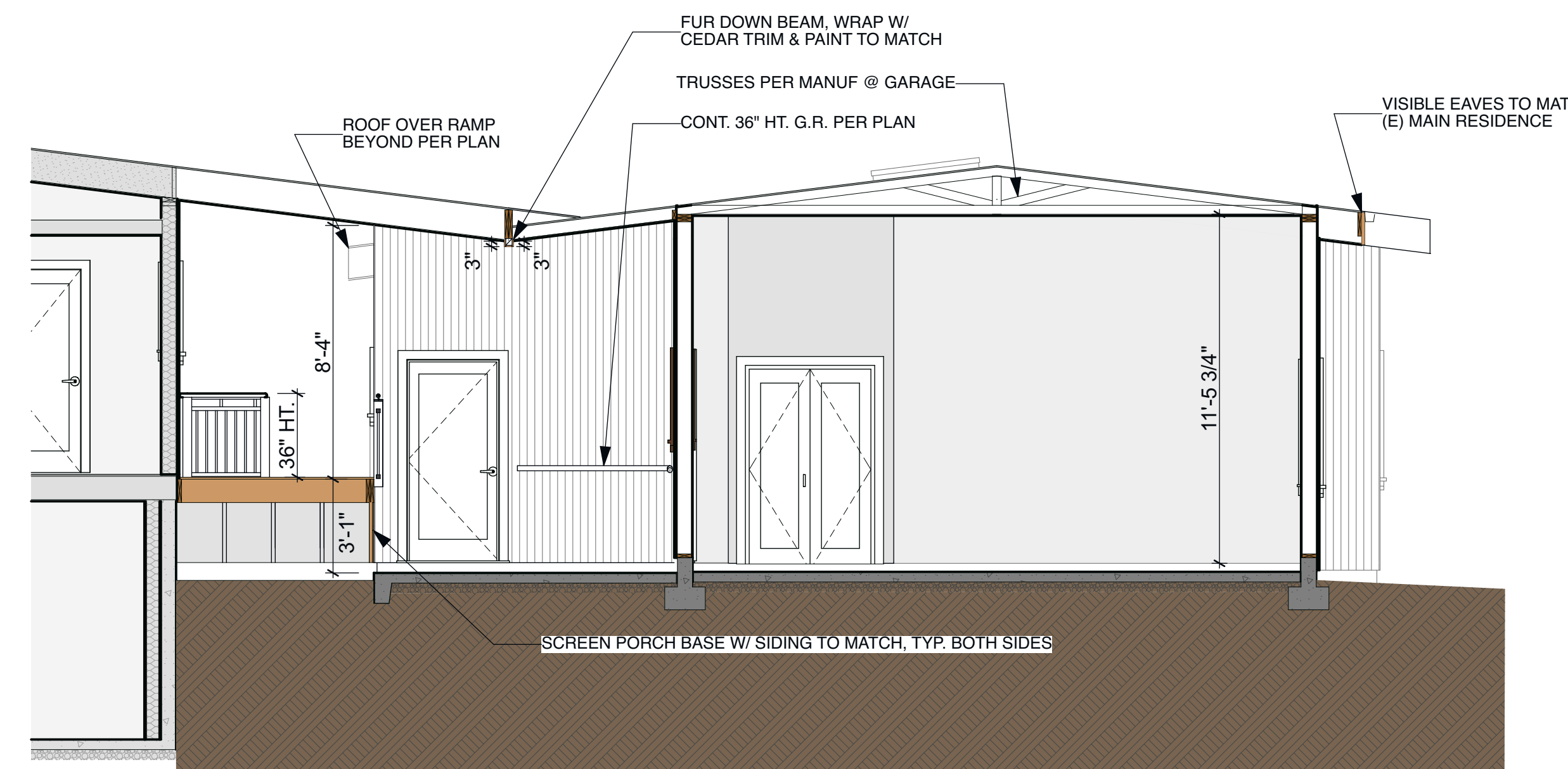
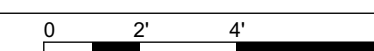
Sections

A301



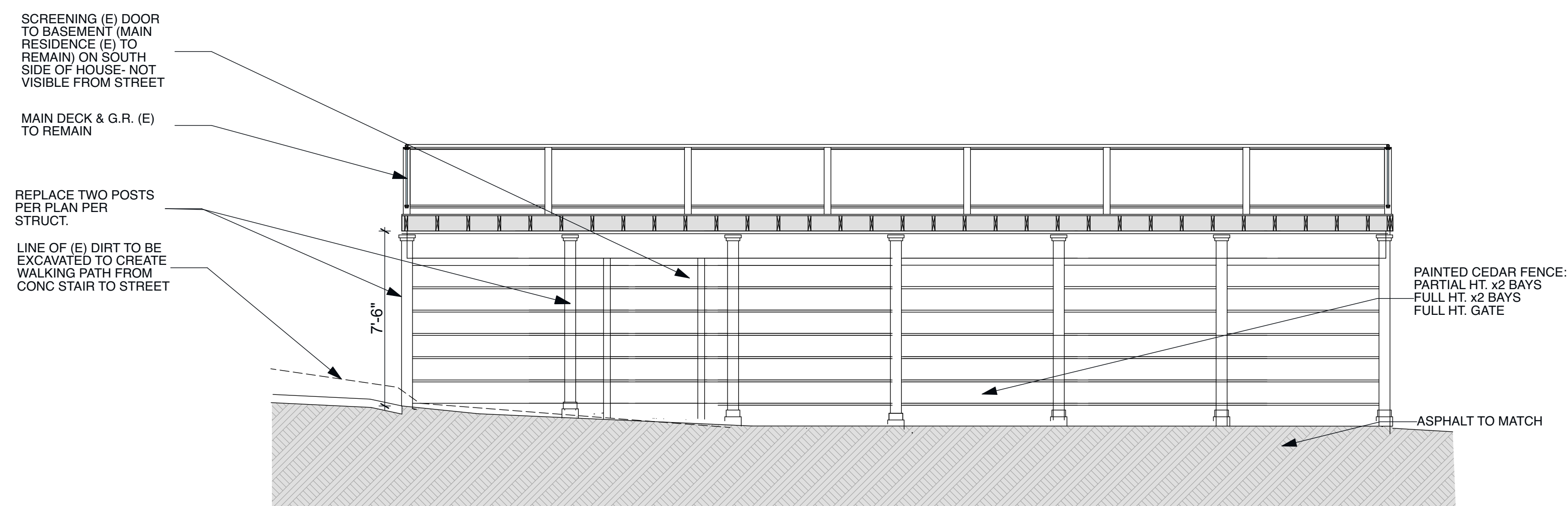
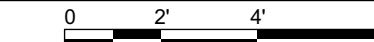
4
A301 Section

SCALE: 1/4" = 1'-0"



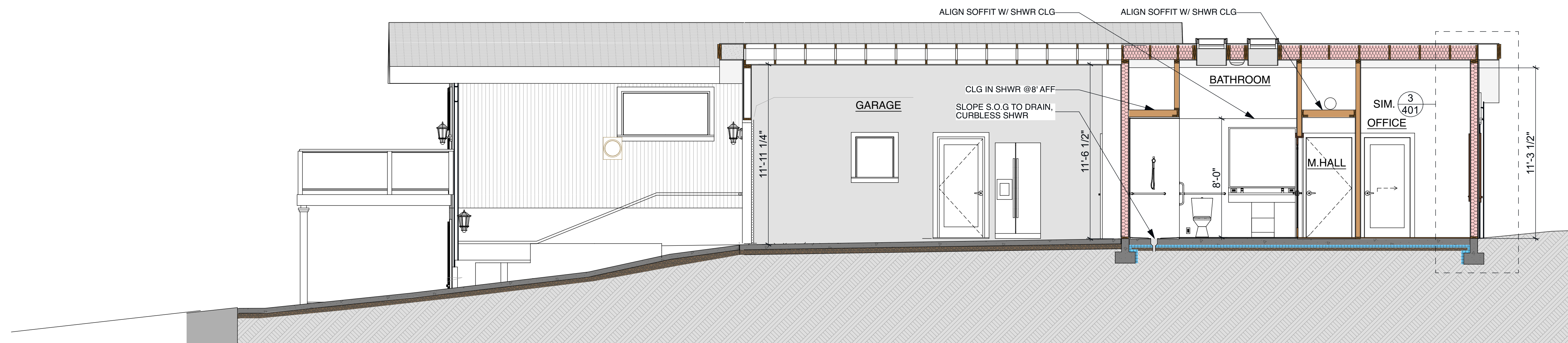
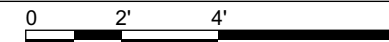
2
A301 Section Thru Garage Looking East

SCALE: 1/4" = 1'-0"



1
A301 Section Looking West Thru Main Deck Looking At Street

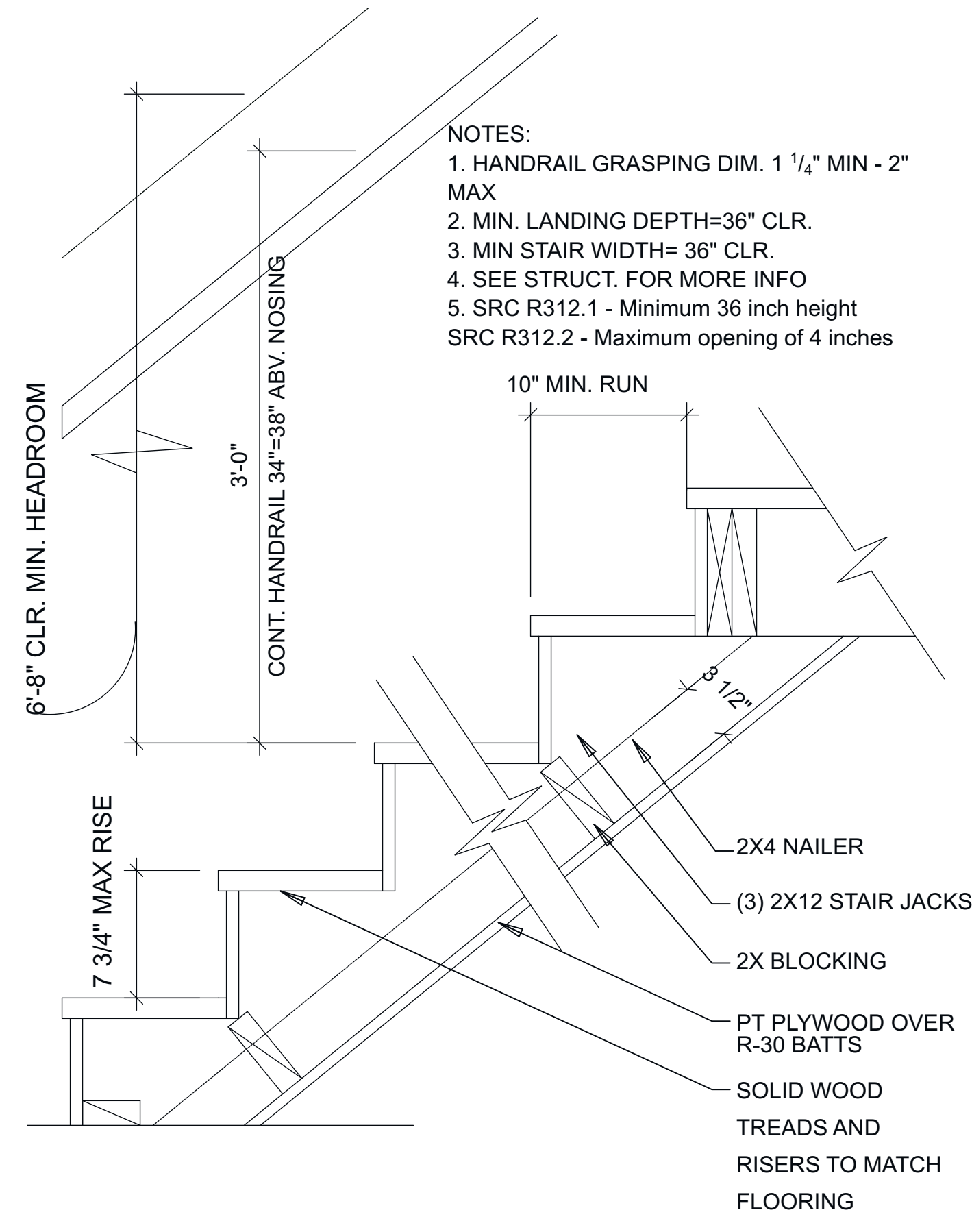
SCALE: 1/4" = 1'-0"



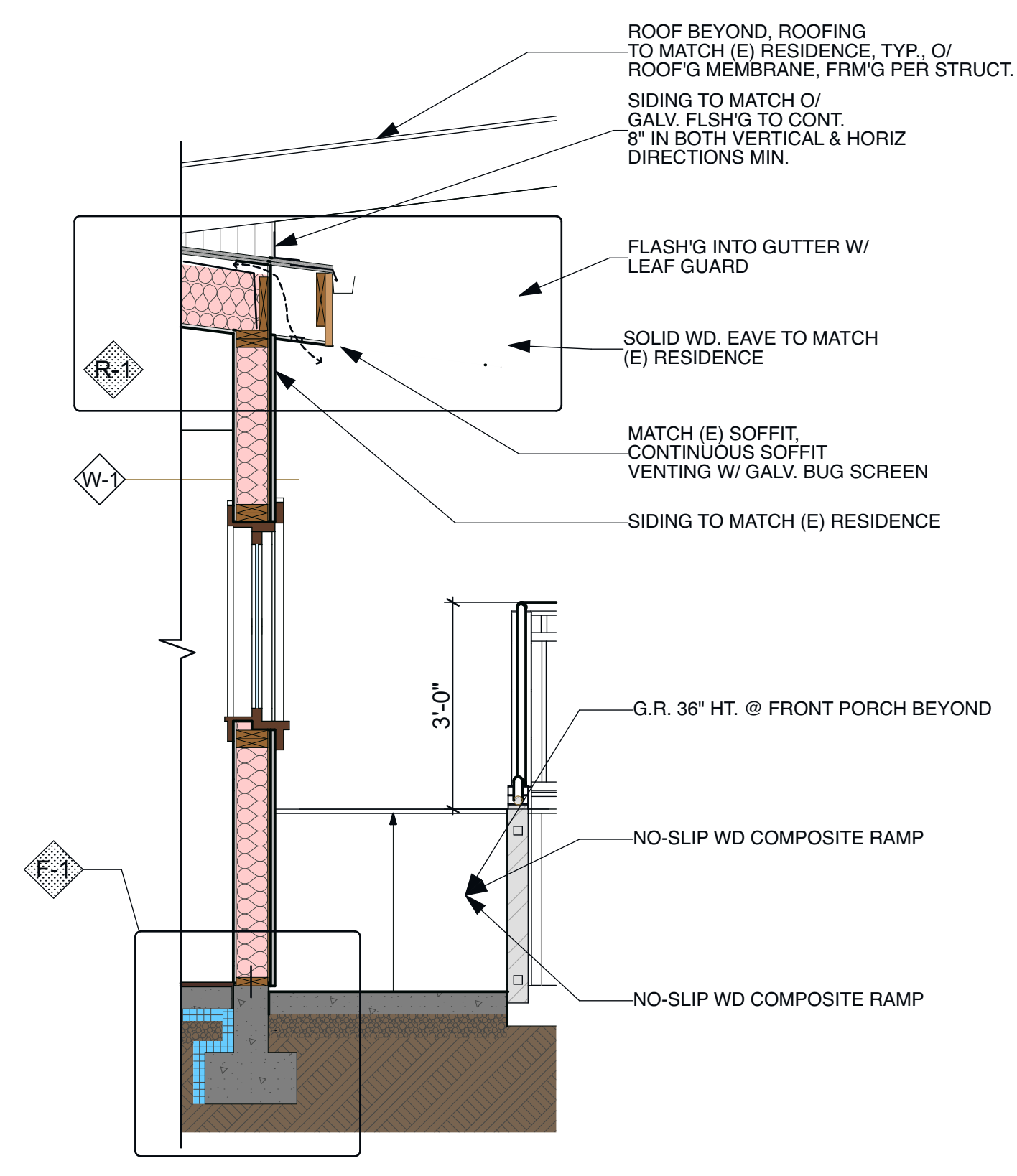
3
A301 Section Looking North

SCALE: 1/4" = 1'-0"

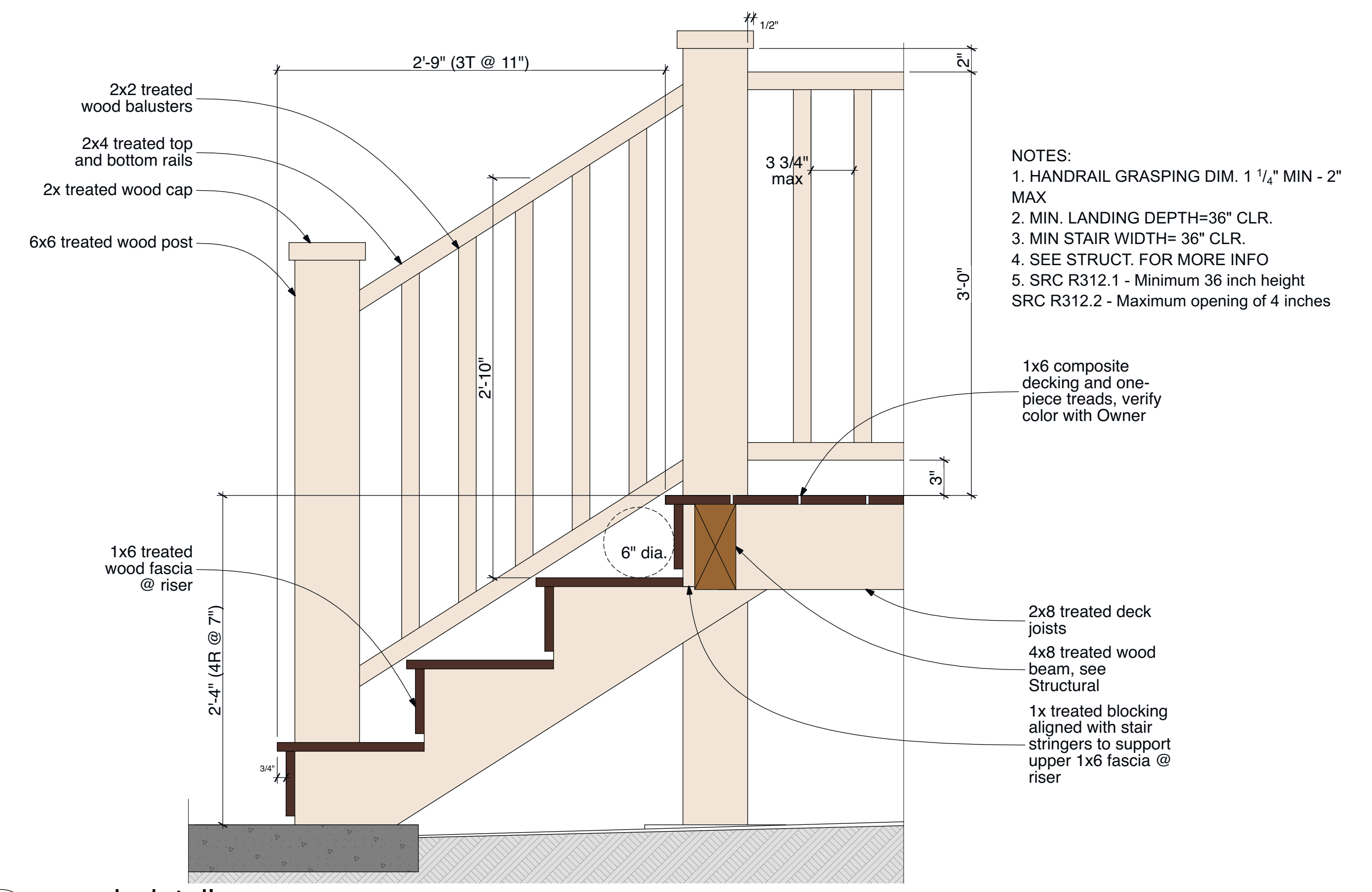




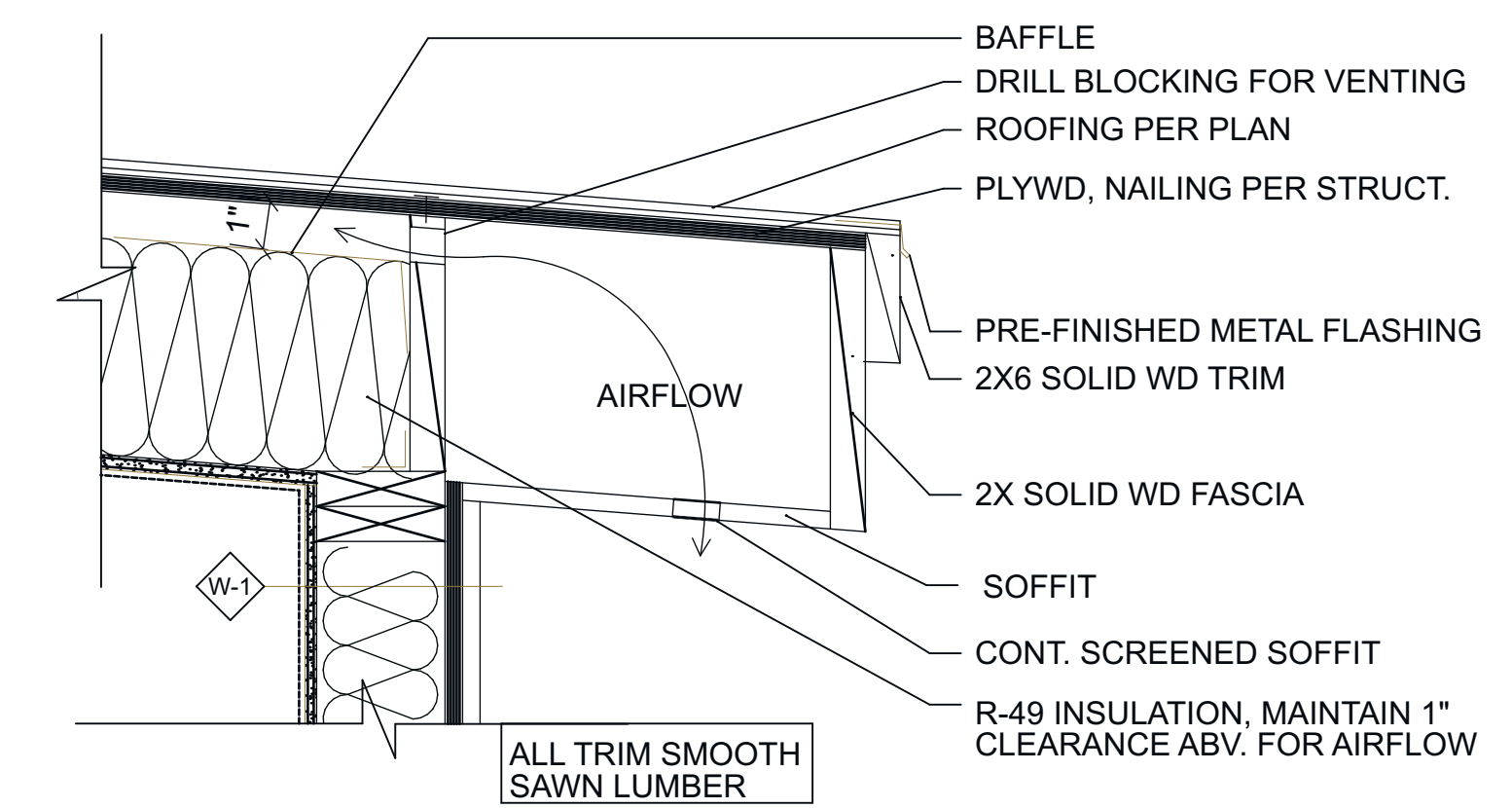
4 TYPICAL STAIR DETAIL
 SCALE: 1 1/2" = 1'-0"
 0 6" 12" 18"



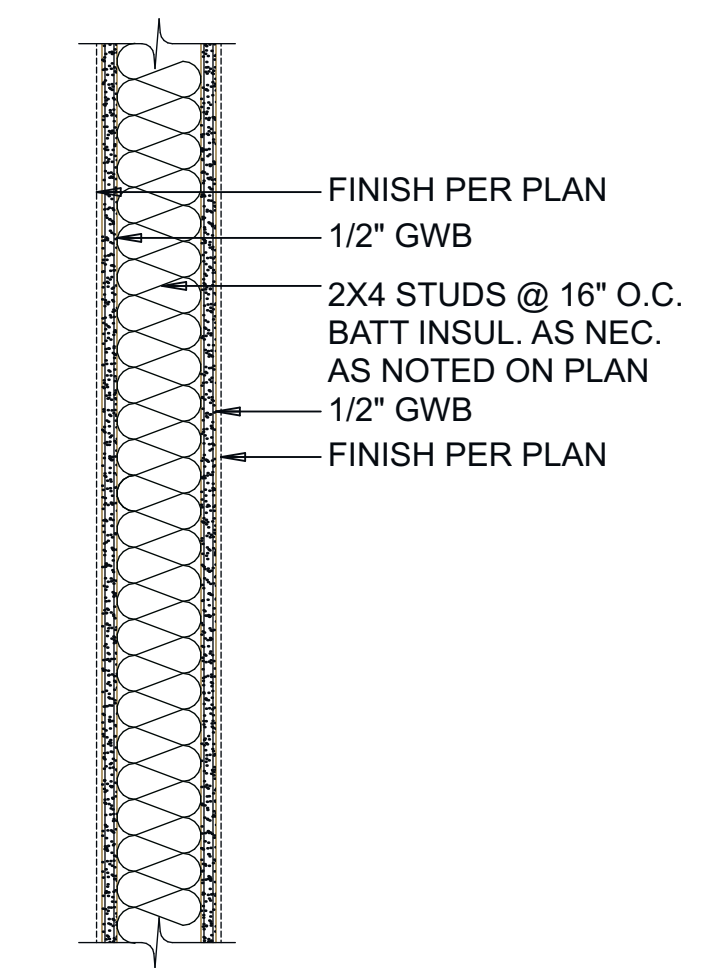
3 DETAIL
 SCALE: 1/2" = 1'-0"
 0 1' 2' 4"



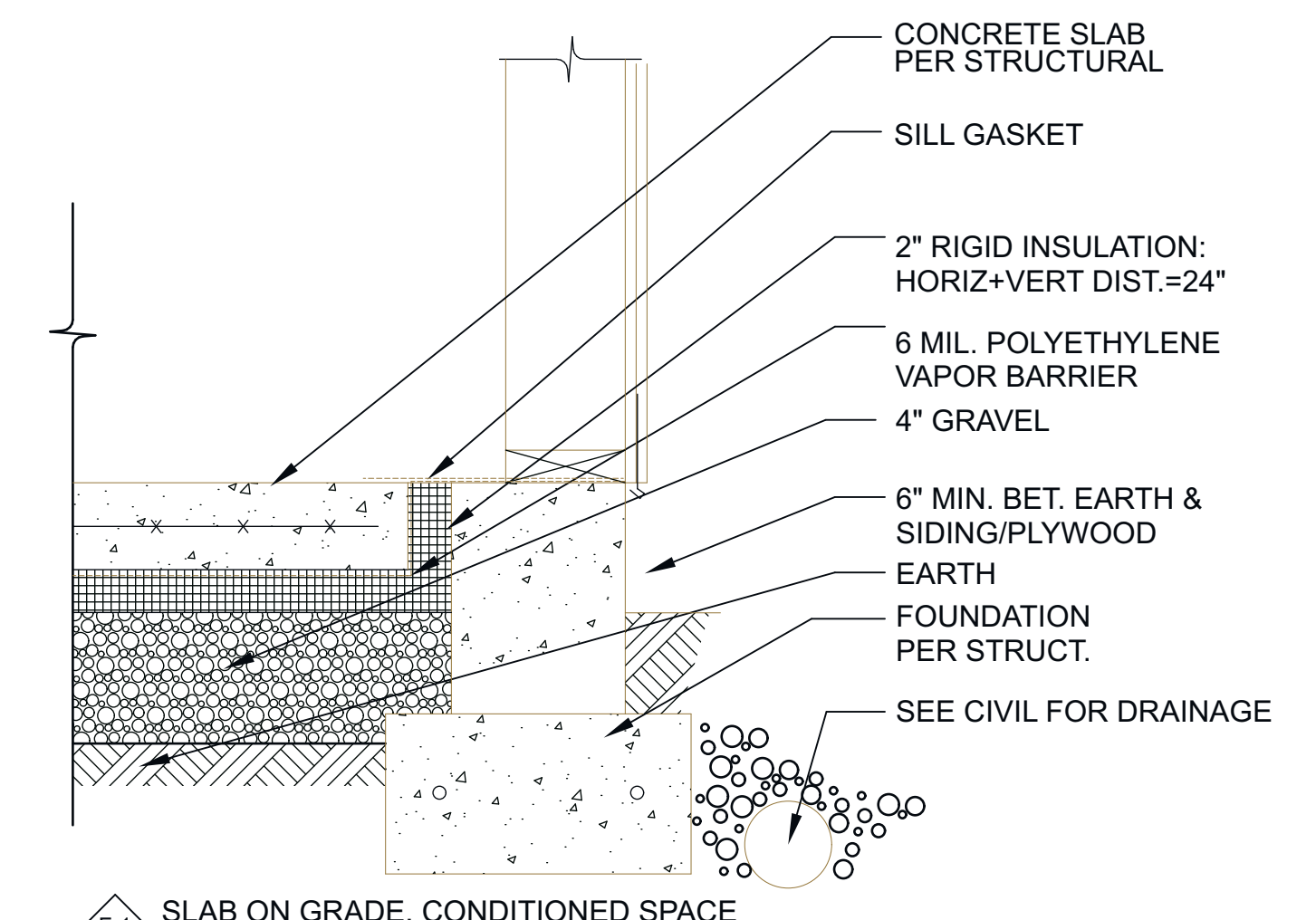
2 porch detail
 SCALE: 1 1/2" = 1'-0"
 0 6" 12" 18"



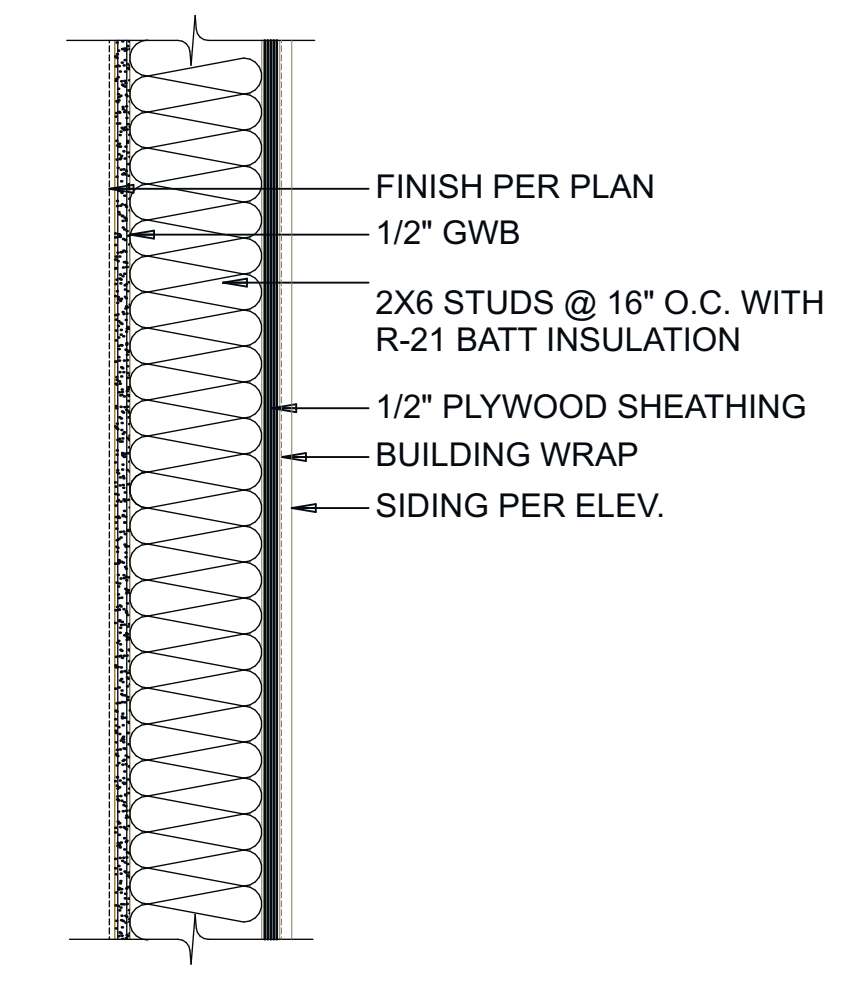
R-1 TYPICAL ROOF CONSTRUCTION



P-1 TYPICAL INTERIOR PARTITION



F-1 SLAB ON GRADE, CONDITIONED SPACE


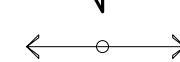
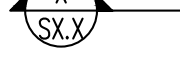

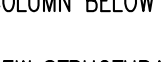
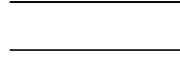
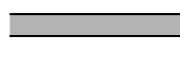
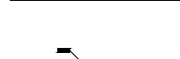




W-1 TYPICAL NEW EXTERIOR WALL

1 DETAIL
 SCALE: 1 1/2" = 1'-0"
 0 6" 12" 18"

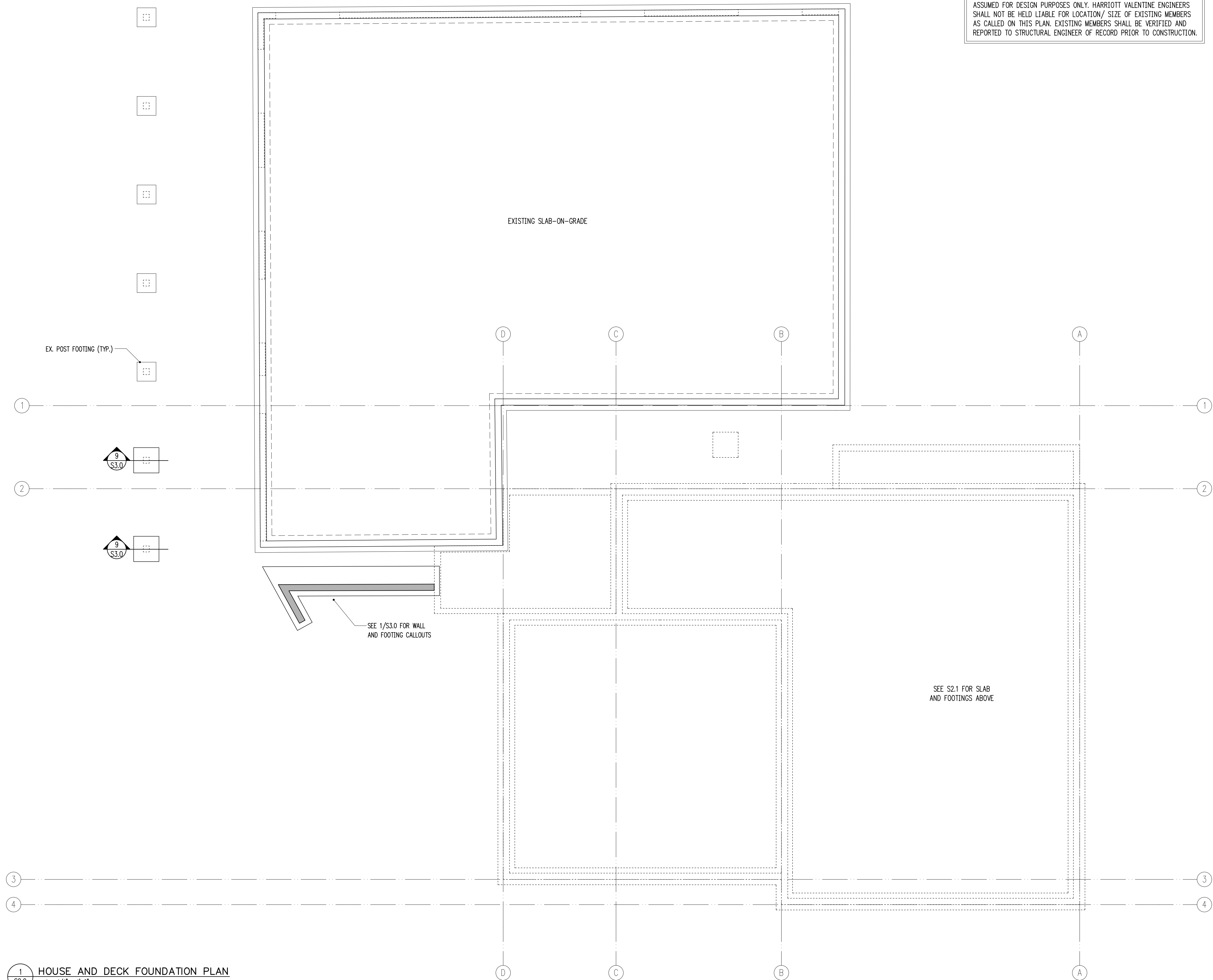
NOTE: EXISTING FRAMING MEMBERS AS INDICATED ON THIS PLAN ARE ASSUMED FOR DESIGN PURPOSES ONLY. HARRIOTT VALENTINE ENGINEERS SHALL NOT BE HELD LIABLE FOR LOCATION/ SIZE OF EXISTING MEMBERS AS CALLED ON THIS PLAN. EXISTING MEMBERS SHALL BE VERIFIED AND REPORTED TO STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

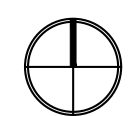
LEGEND

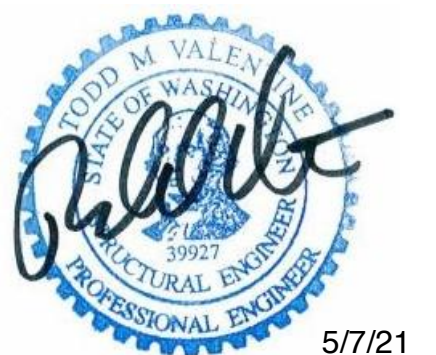
-  SPAN
-  EXTENT
-  SECTION DETAIL
- (FB) FLUSH BEAM
- (PT) PRESSURE-TREATED
-  COLUMN ABOVE
-  COLUMN BELOW
-  NEW STRUCTURAL WALL
-  EXISTING STRUCTURAL WALL
-  NEW CONCRETE WALL
-  EXISTING CONCRETE WALL
-  ALL-THREAD HOLDOWN AT END OF SHEARWALL ABOVE

FOUNDATION PLAN NOTES

1. WHERE NEW CONCRETE WALLS OR FOOTING ABOUT EX. CONCRETE, PROVIDE DOWELS #4 x 2'-0" TO MATCH HORIZ. REINFORCING, EMBED 5" IN EPOXY GROUT.
2. SEE 10/S4.0 FOR TYPICAL HOLDOWN REQUIREMENTS AT CONCRETE WALLS AND FOOTINGS.
3. SLAB-ON-GRADE SHALL BE PLACED AND CURED FOR A MINIMUM OF SEVEN DAYS BEFORE RETAINING WALLS ARE BACKFILLED. SEE RETAINING WALL DETAILS FOR SPECIFIC CONFIGURATION.



 1 HOUSE AND DECK FOUNDATION PLAN
 scale: 1/4" = 1'-0"



Project Contact
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 tel 206 624 4760 ex. 32
 fax 206 447 6971
 hnuckles@harriottvalentine.com

Project Architect
 Wascha Studios
 815 Seattle Blvd South #135
 Seattle, WA 98134

Project
Chan Addition
 7036 81st Ave SE
 Mercer Island, WA 98040

Issue Date	Issue Description
11/24/20	Permit Submittal

Building Department Approval

Drawing Title
HOUSE AND DECK FOUNDATION PLAN

Drawing Number
S2.0

CHAN ADDITION



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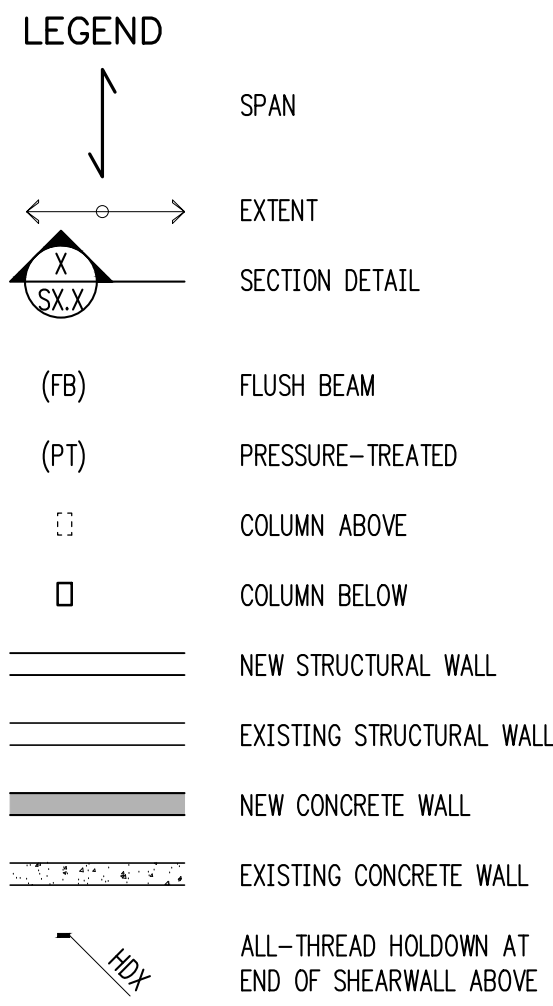
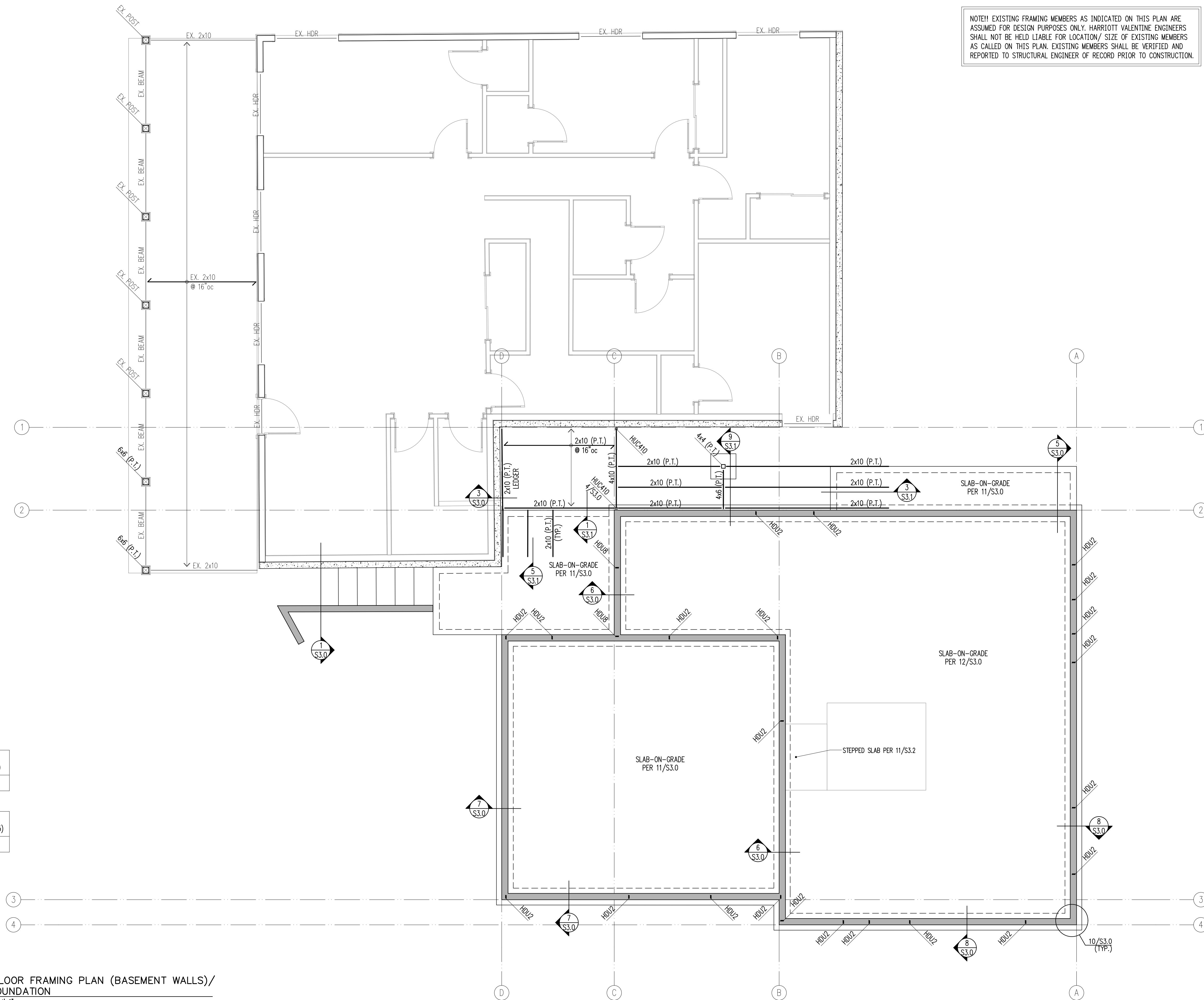
Drawing Title
**ADU
FOUNDATION PLAN**

Drawing Number

S2.1

CHAN ADDITION

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FRAMING PLAN NOTES

- SW ___ INDICATES SHEARWALL TYPE PER SCHEDULE 8/S4.0. REFER TO DETAILS FOR TYPICAL SHEARWALL CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL WALL INFORMATION.
- REFER TO GENERAL STRUCTURAL NOTES FOR FLOOR OR ROOF SHEATHING TYPE, THICKNESS, AND NAILING.
- COLUMNS SHALL BE DOUBLE STUD MINIMUM, UNLESS NOTED OTHERWISE. SEE 11/S4.0.
- AT ALL SHEARWALLS PROVIDE DOUBLE TOP PLATES AND SPLICE PER 12/S4.0.
- POSTS □, INCLUDING ENDS OF WALL OPENINGS, SHALL BE (2)2x6 UNLESS NOTED OTHERWISE.

FOUNDATION PLAN NOTES

- WHERE NEW CONCRETE WALLS OR FOOTING ABOUT EX. CONCRETE, PROVIDE DOWELS #4 x 2'-0" TO MATCH HORIZ. REINFORCING, EMBED 5" IN EPOXY GROUT.
- SEE 10/S4.0 FOR TYPICAL HOLDOWN REQUIREMENTS AT CONCRETE WALLS AND FOOTINGS.
- SLAB-ON-GRADE SHALL BE PLACED AND CURED FOR A MINIMUM OF SEVEN DAYS BEFORE RETAINING WALLS ARE BACKFILLED. SEE RETAINING WALL DETAILS FOR SPECIFIC CONFIGURATION.

HANGER SCHEDULE

MEMBER (FLAT ONLY)	HANGER	FACE NAILING	CAPACITY (Cd = 1.0)
2x10	LUS210	10d COMMON	1275 lb

MEMBER (SLOPED ONLY)	HANGER	FACE NAILING	CAPACITY (Cd = 1.15)
2x10	LSSU210	10d COMMON	1275 lb



1
S2.1
MAIN FLOOR FRAMING PLAN (BASEMENT WALLS)/
ADU FOUNDATION
scale: 1/4" = 1'-0"

NOTE: EXISTING FRAMING MEMBERS AS INDICATED ON THIS PLAN ARE ASSUMED FOR DESIGN PURPOSES ONLY. HARRIOTT VALENTINE ENGINEERS SHALL NOT BE HELD LIABLE FOR LOCATION/ SIZE OF EXISTING MEMBERS AS CALLED ON THIS PLAN. EXISTING MEMBERS SHALL BE VERIFIED AND REPORTED TO STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

LEGEND

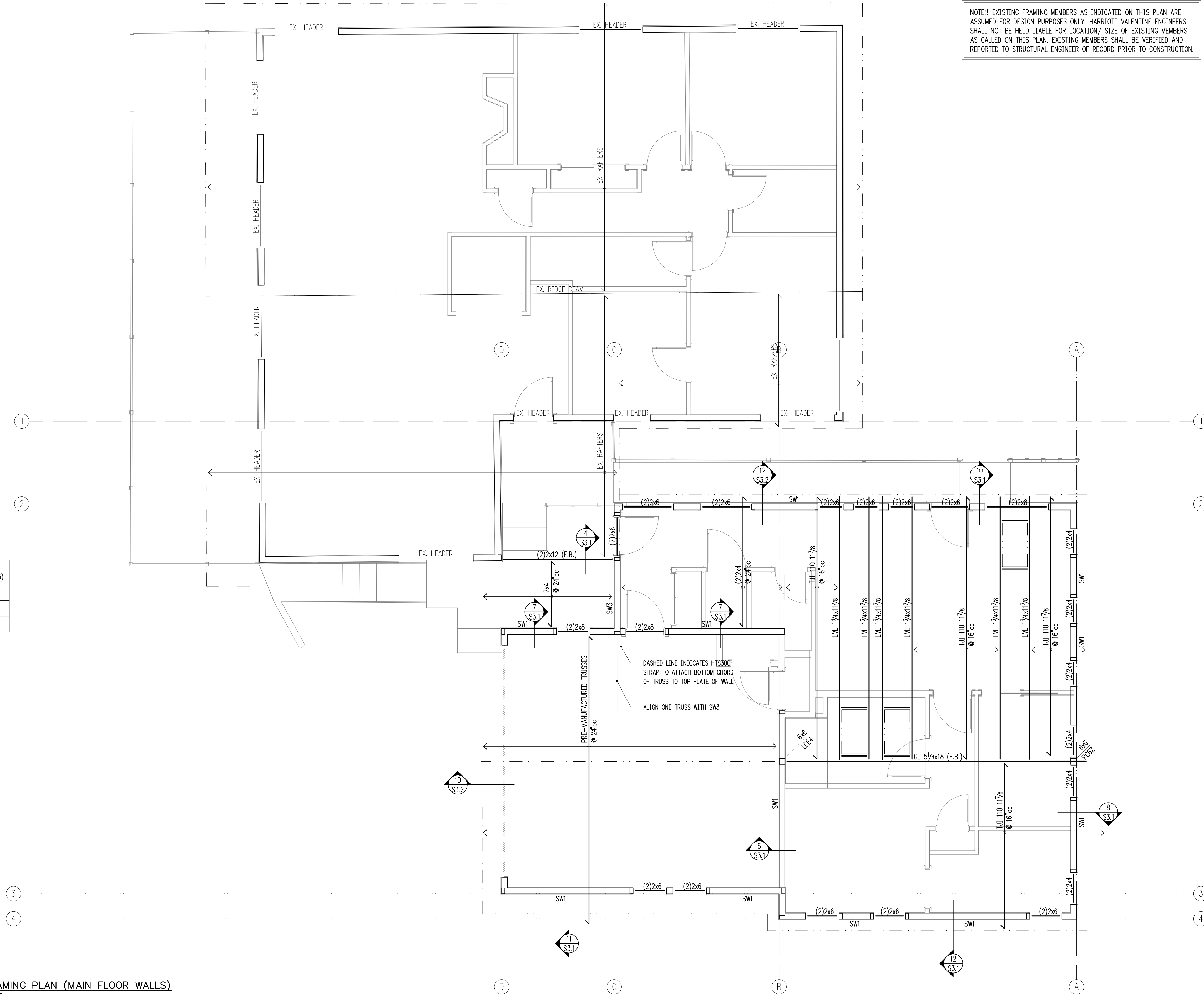
- SPAN
- EXTENT
- SECTION DETAIL
- (FB) FLUSH BEAM
- (PT) PRESSURE-TREATED
- COLUMN ABOVE
- COLUMN BELOW
- NEW STRUCTURAL WALL
- EXISTING STRUCTURAL WALL
- NEW CONCRETE WALL
- EXISTING CONCRETE WALL
- ALL-THREAD HOLDOWN AT END OF SHEARWALL ABOVE

FRAMING PLAN NOTES

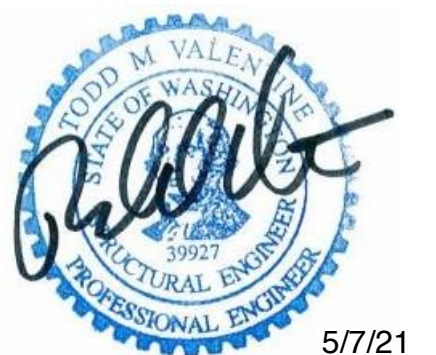
1. SW ___ INDICATES SHEARWALL TYPE PER SCHEDULE 8/S4.0. REFER TO DETAILS FOR TYPICAL SHEARWALL CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL WALL INFORMATION.
2. REFER TO GENERAL STRUCTURAL NOTES FOR FLOOR OR ROOF SHEATHING TYPE, THICKNESS, AND NAILING.
3. COLUMNS SHALL BE DOUBLE STUD MINIMUM, UNLESS NOTED OTHERWISE. SEE 11/S4.0.
4. AT ALL SHEARWALLS PROVIDE DOUBLE TOP PLATES AND SPLICE PER 12/S4.0.
5. POSTS □, INCLUDING ENDS OF WALL OPENINGS, SHALL BE (2)2x6 UNLESS NOTED OTHERWISE.

HANGER SCHEDULE

MEMBER (SLOPED ONLY)	HANGER	FACE NAILING	CAPACITY (Cd = 1.15)
2x10	LRU210Z	10d COMMON	1395 lb
117/8" TJI 110	LSSR1.81Z	10d COMMON	1345 lb
LVL 1 3/4x11 7/8	LSSR1.81Z	10d COMMON	1345 lb



1 ROOF FRAMING PLAN (MAIN FLOOR WALLS)
S2.2 scale: 1/4" = 1'-0"



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Seattle, WA 98134

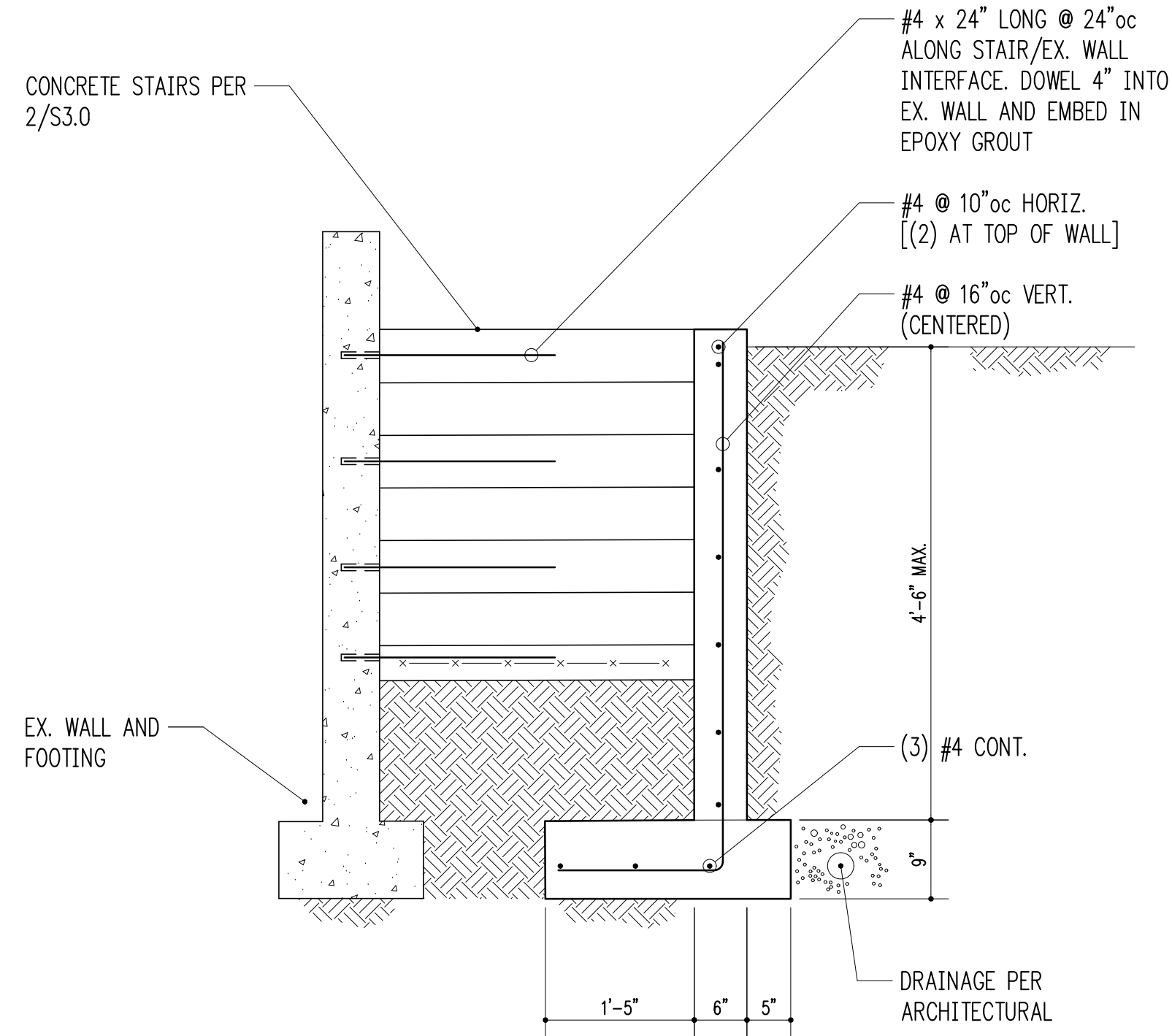
Project
Chan Addition
7036 81st Ave SE
Mercer Island, WA 98040

Issue Date: 11/24/20
Issue Description: Permit Submittal

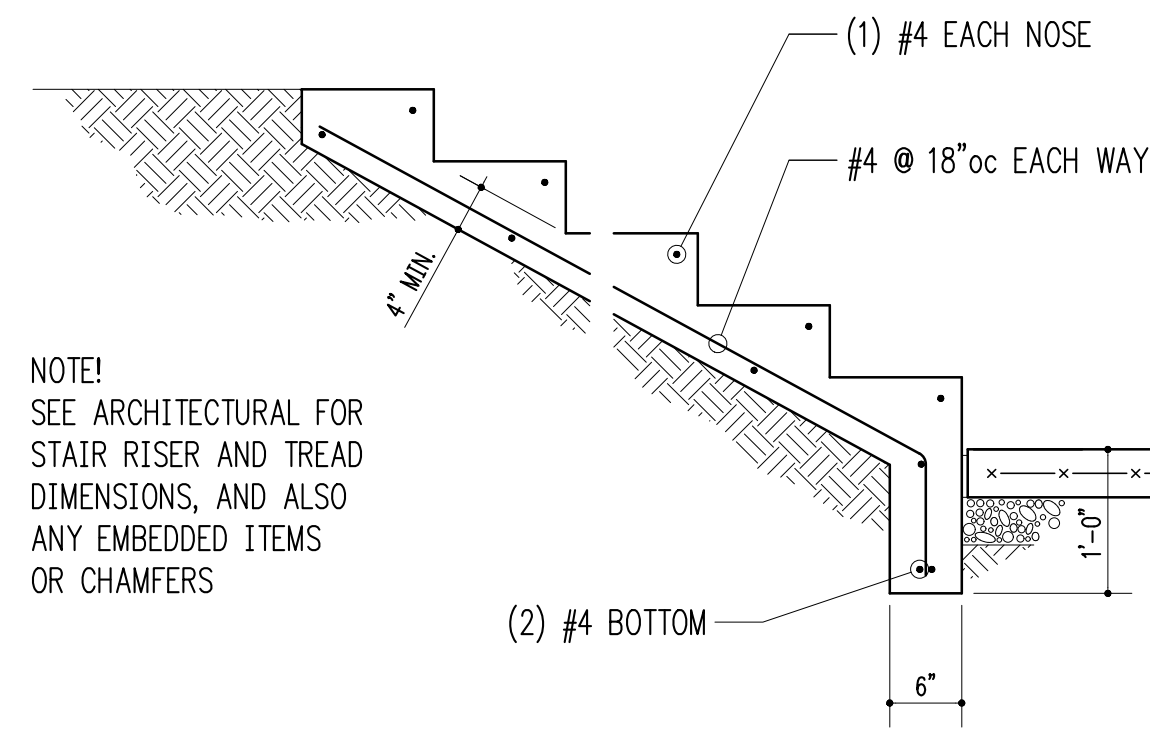
Building Department Approval

Drawing Title
ROOF FRAMING PLAN

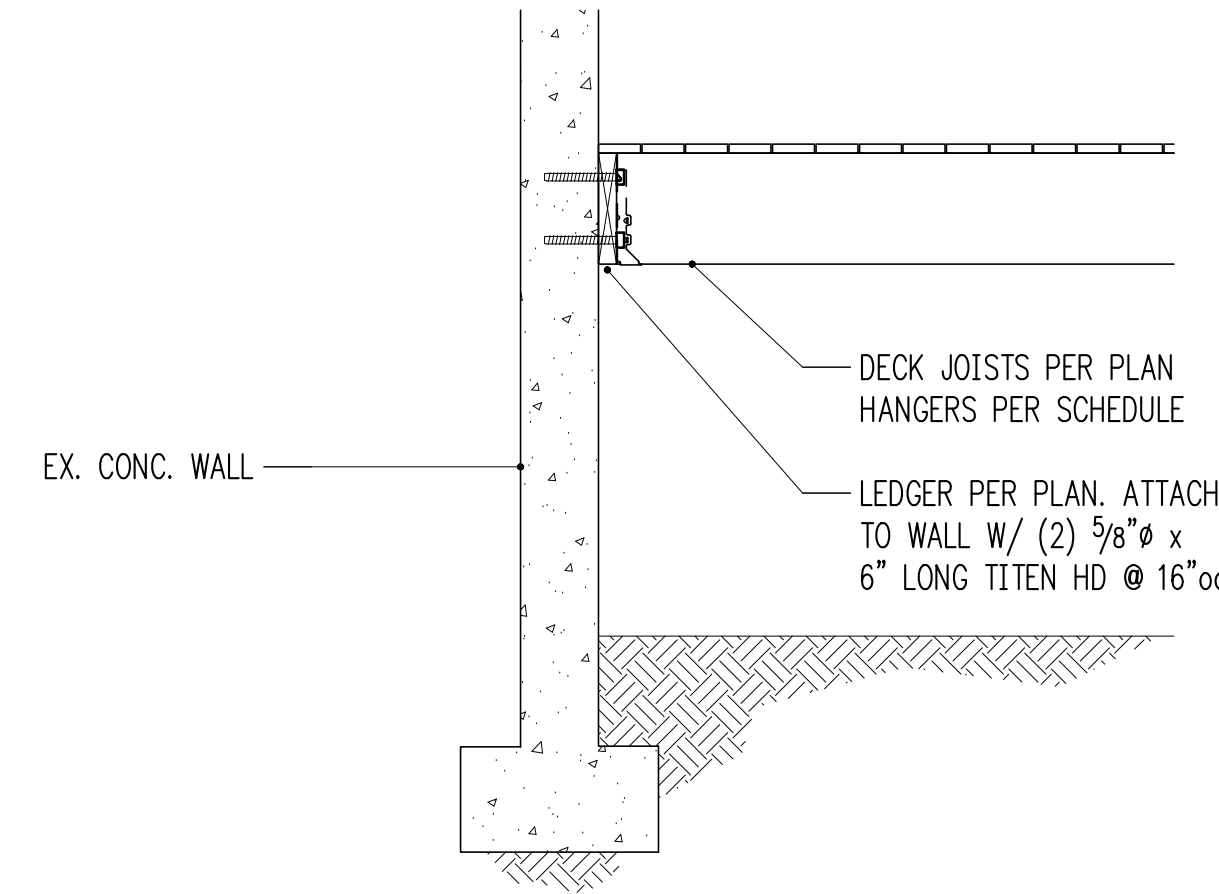
Drawing Number
S2.2



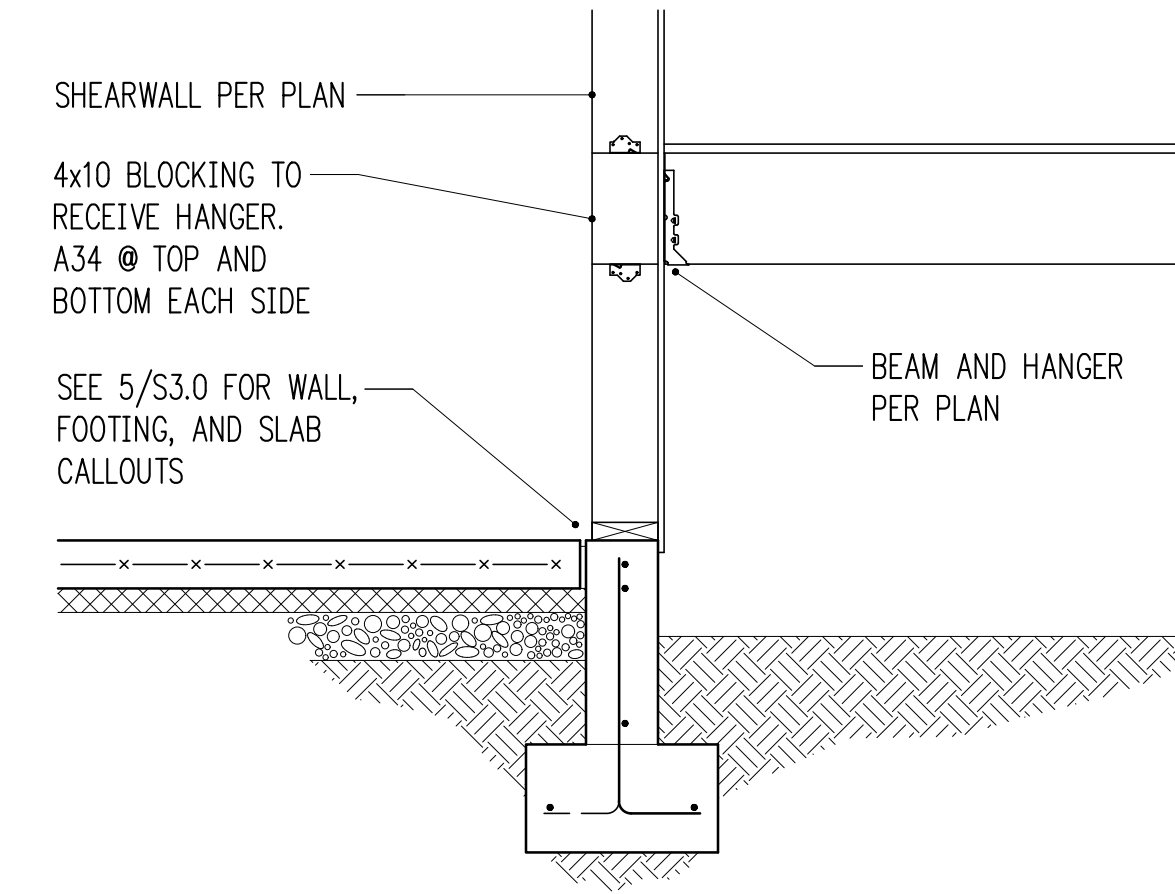
3/4" = 1'-0" 1



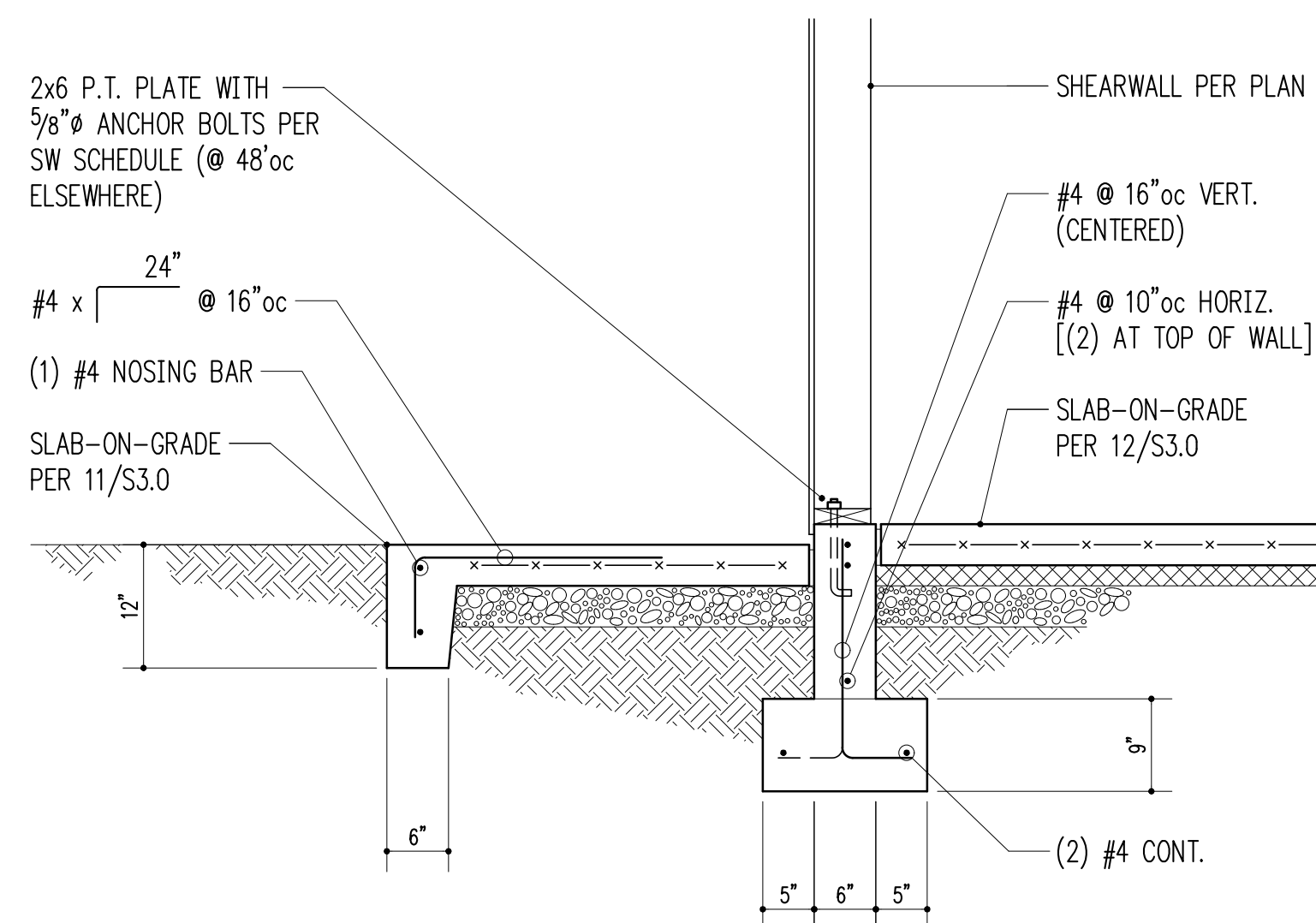
TYPICAL STAIR-ON-GRADE
 3/4" = 1'-0" 2



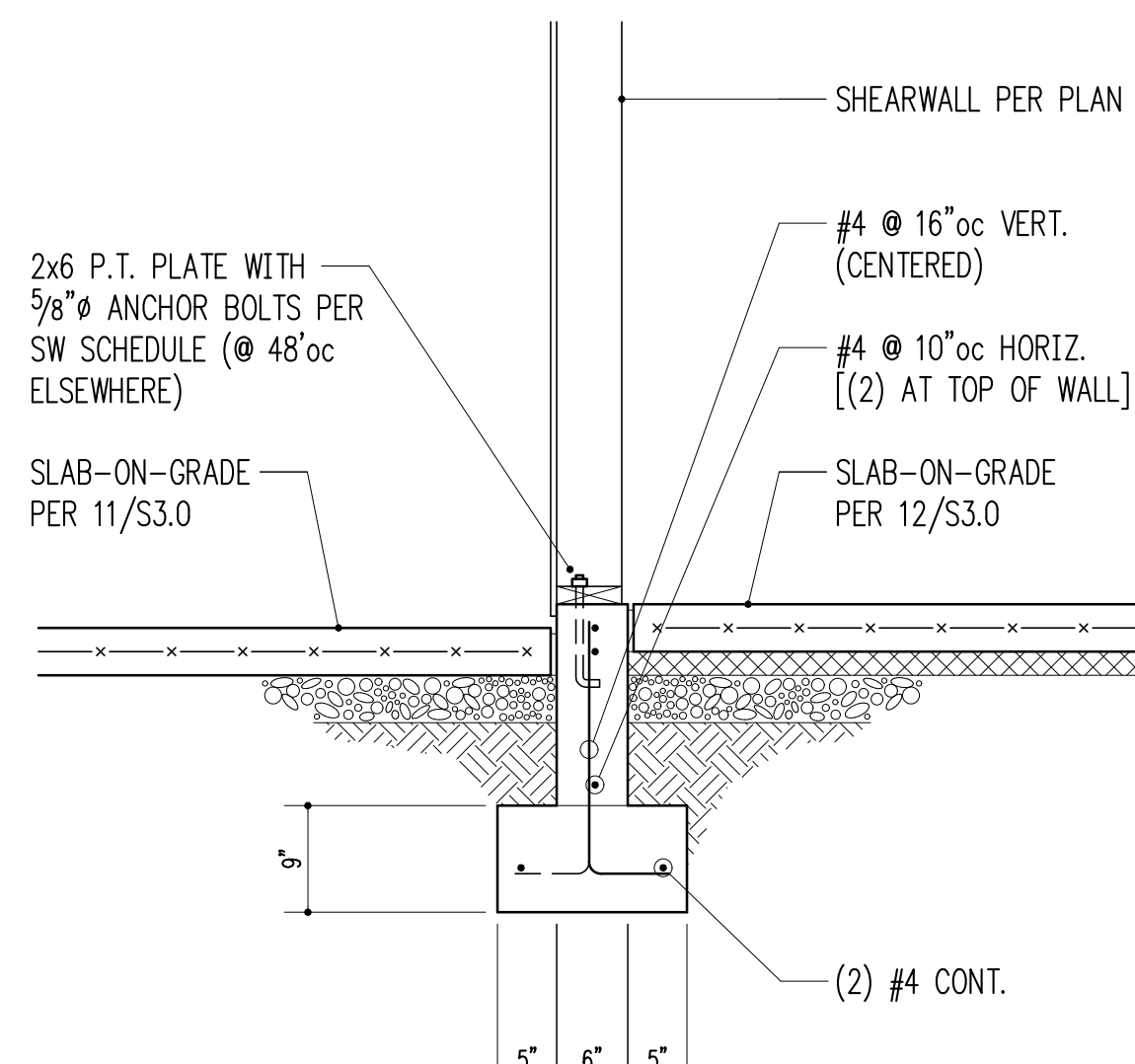
3/4" = 1'-0" 3



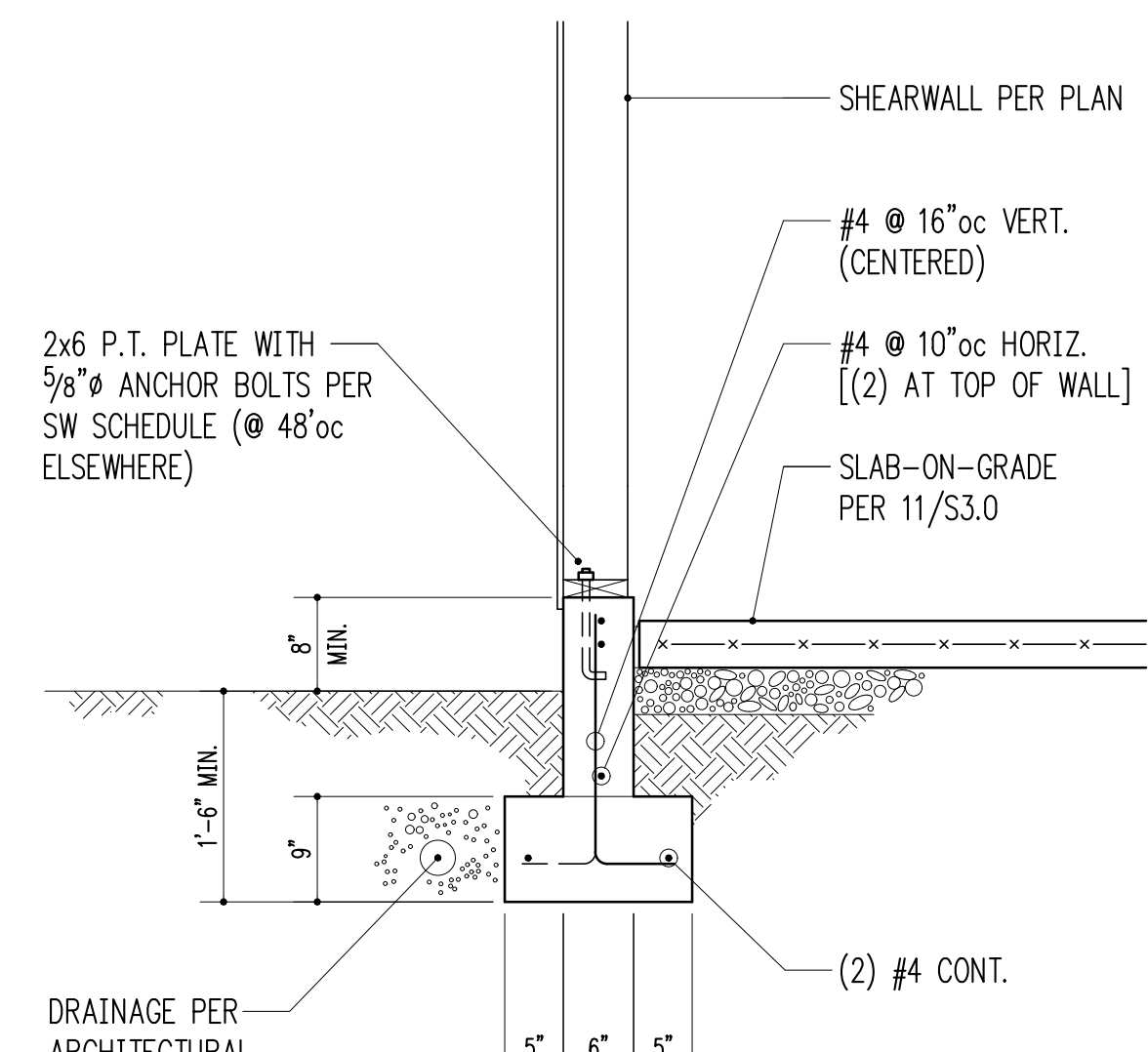
3/4" = 1'-0" 4



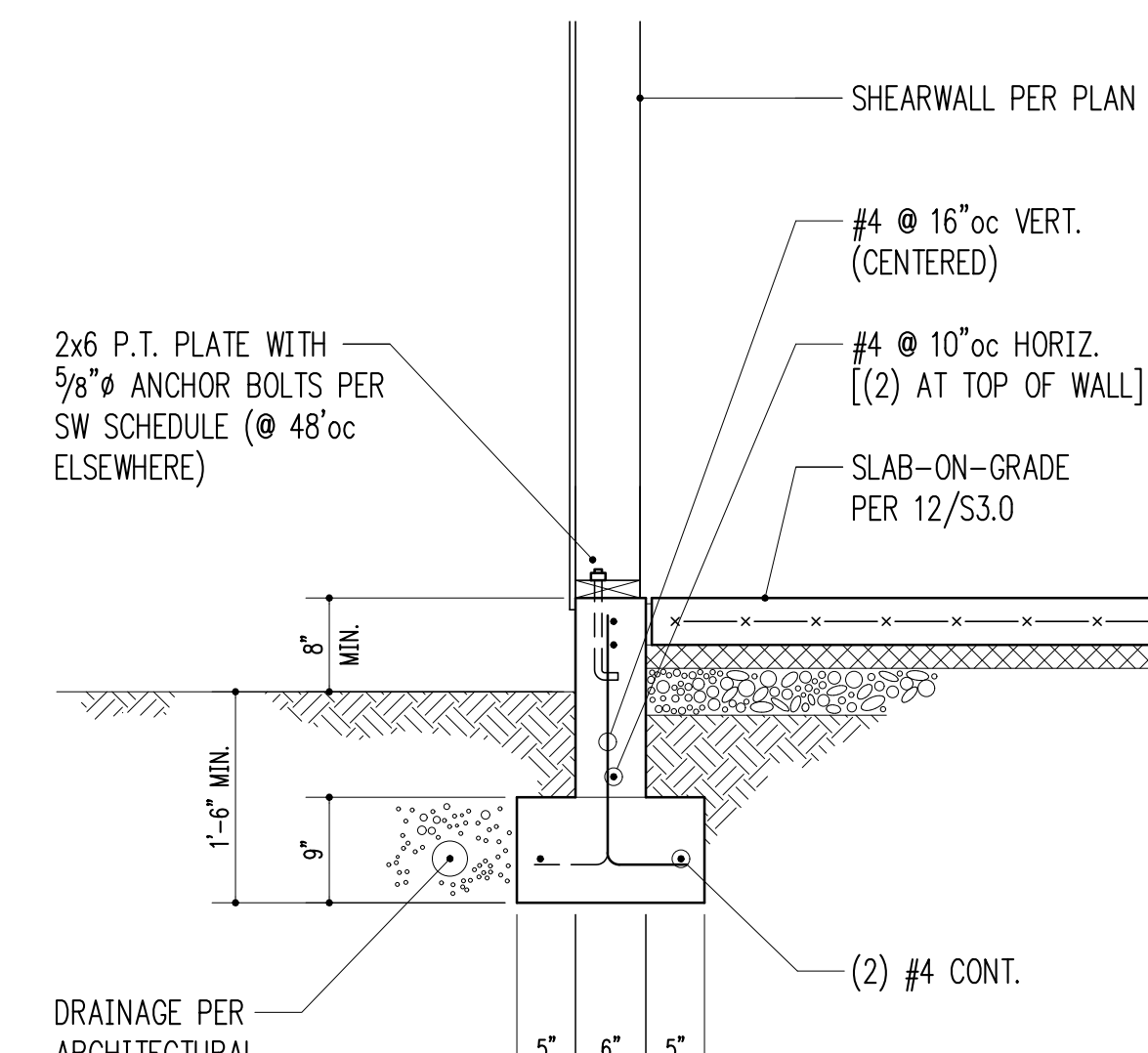
3/4" = 1'-0" 5



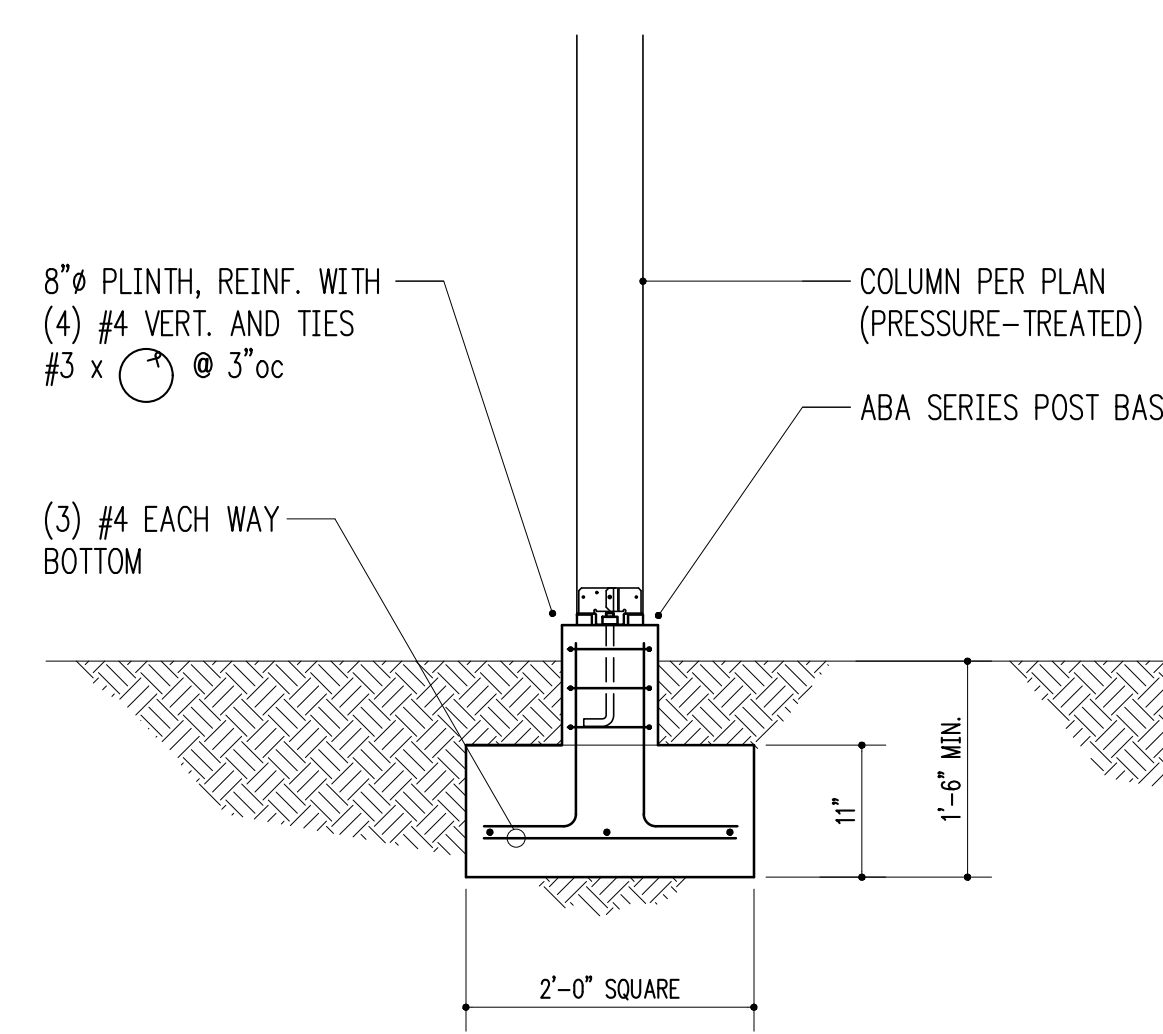
3/4" = 1'-0" 6



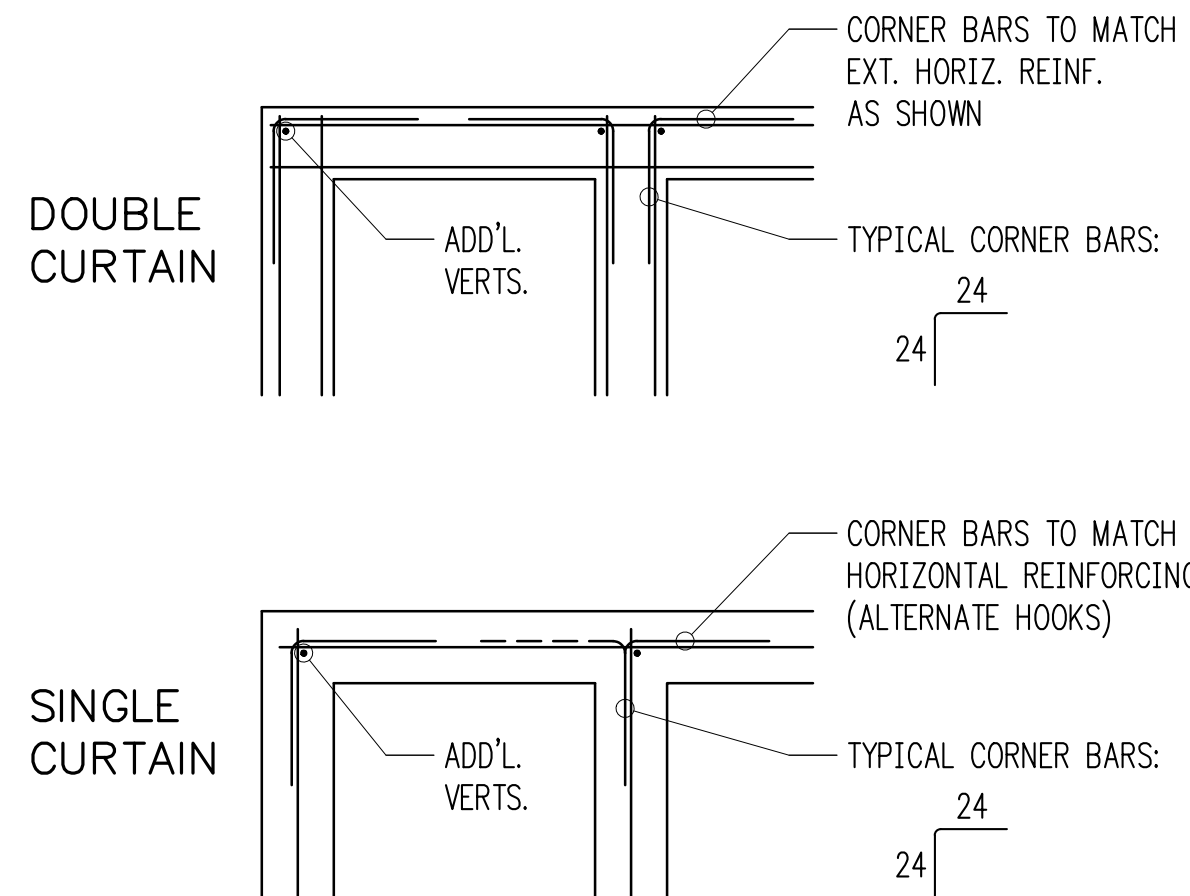
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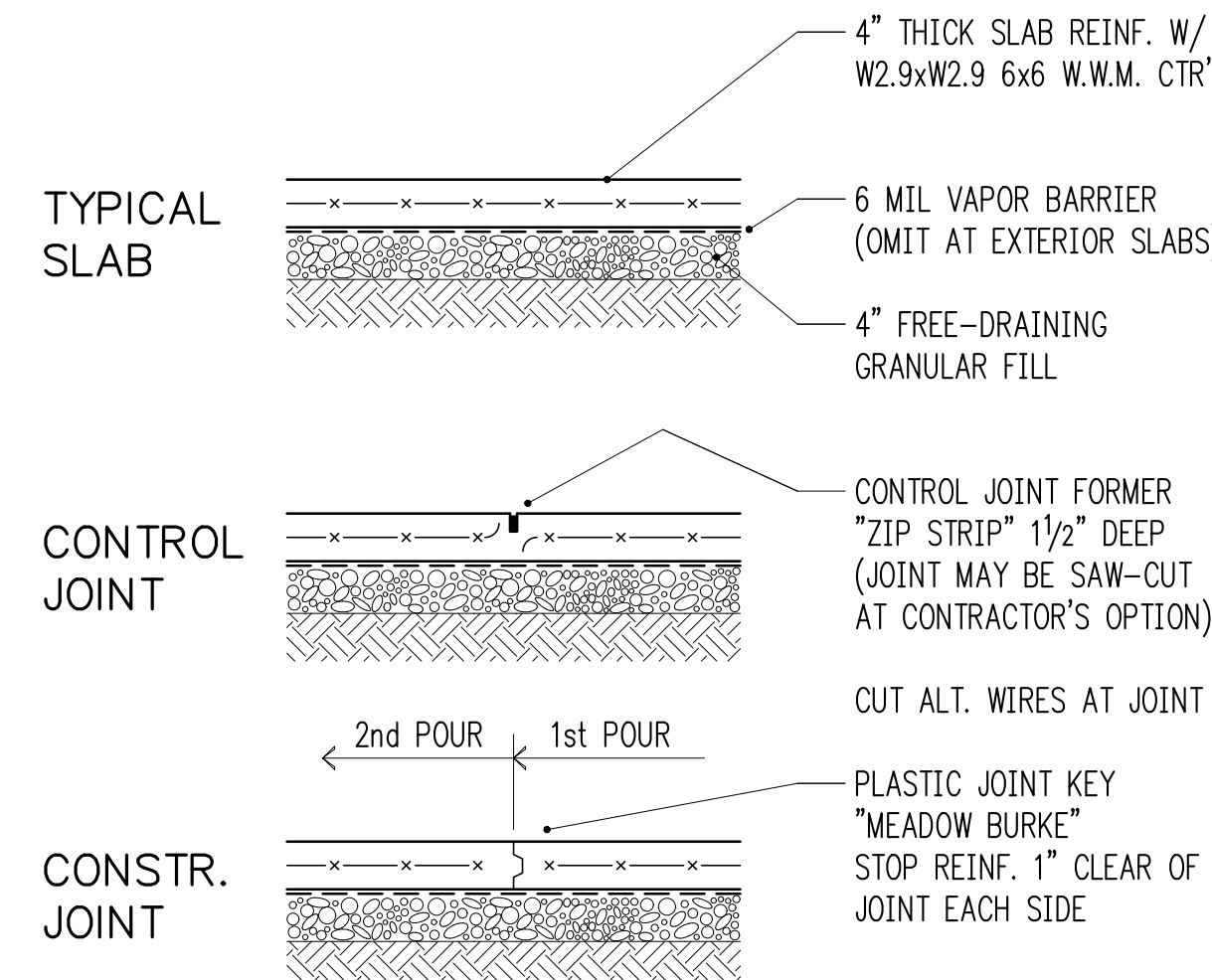
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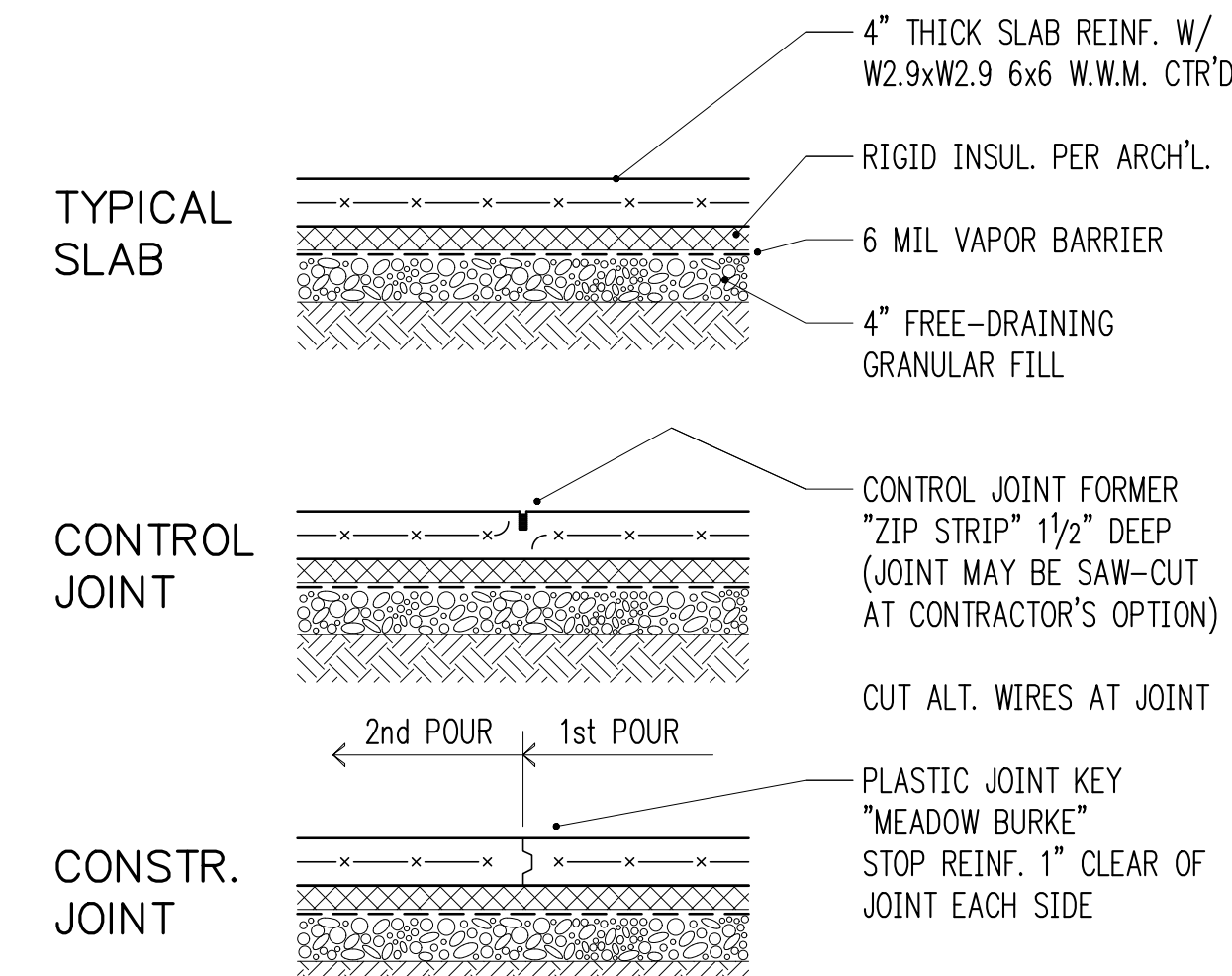
3/4" = 1'-0" 9



TYPICAL CORNER BARS AT CONCRETE WALLS
 3/4" = 1'-0" 10



SLAB-ON-GRADE (NOT INSULATED)
 3/4" = 1'-0" 11



SLAB-ON-GRADE (INSULATED)
 3/4" = 1'-0" 12



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 Seattle, WA 98134

Project
Chan Addition
 7036 81st Ave SE
 Mercer Island, WA 98040

Issue Date	Issue Description
11/24/20	Permit Submittal

Building Department Approval

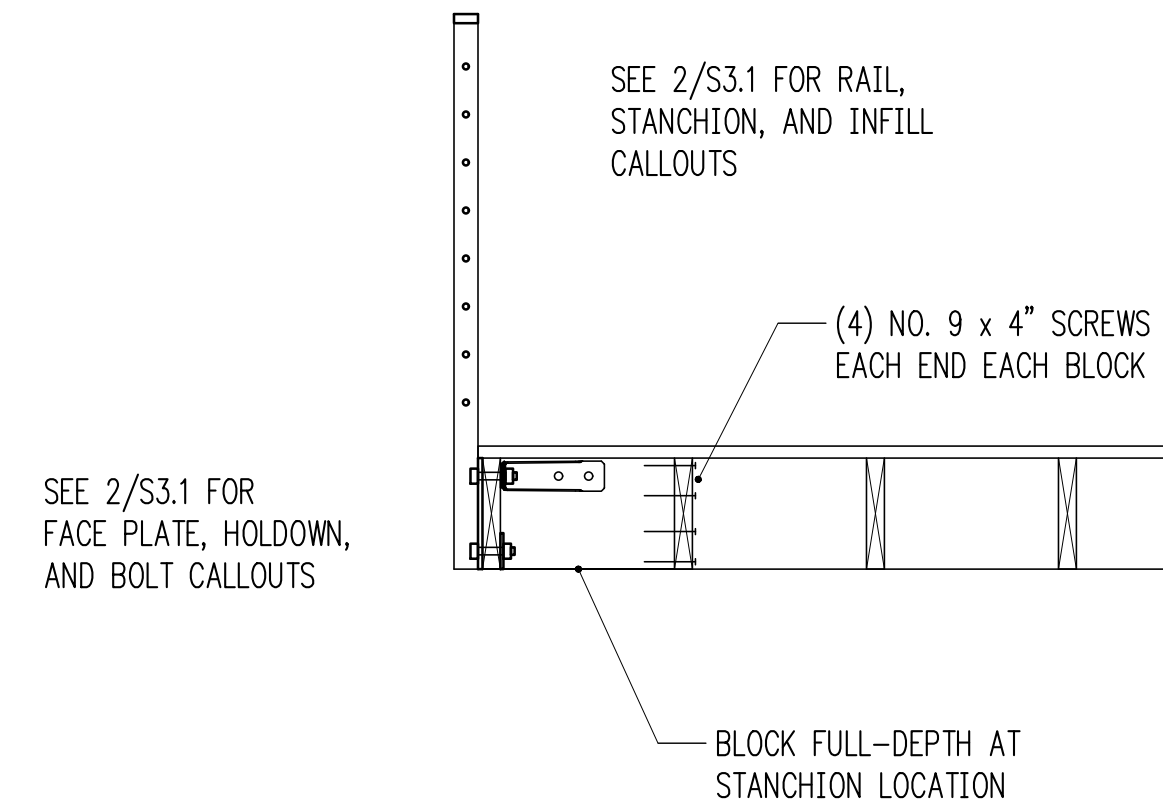


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STRUCTURAL DETAILS

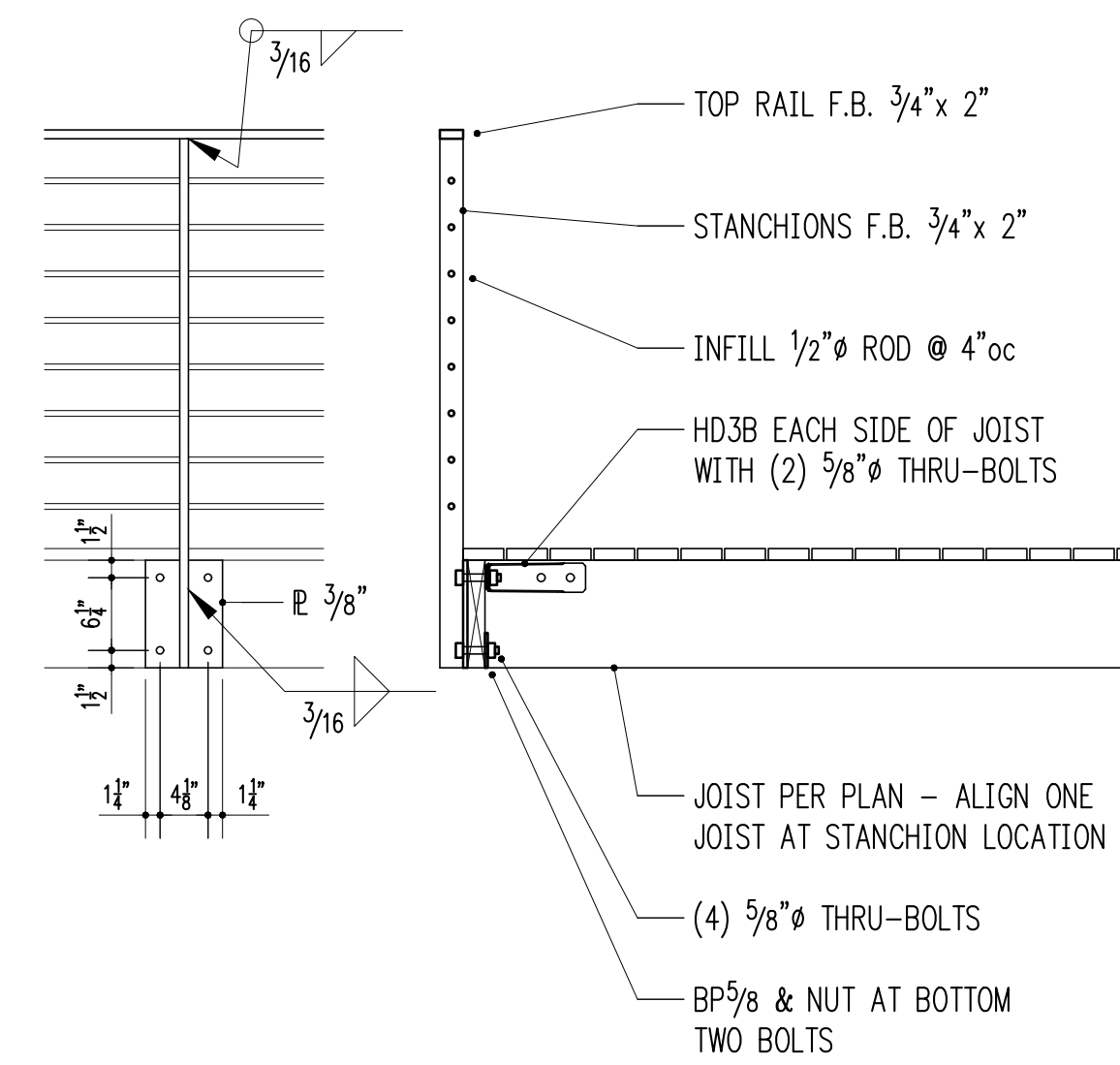
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S3.0

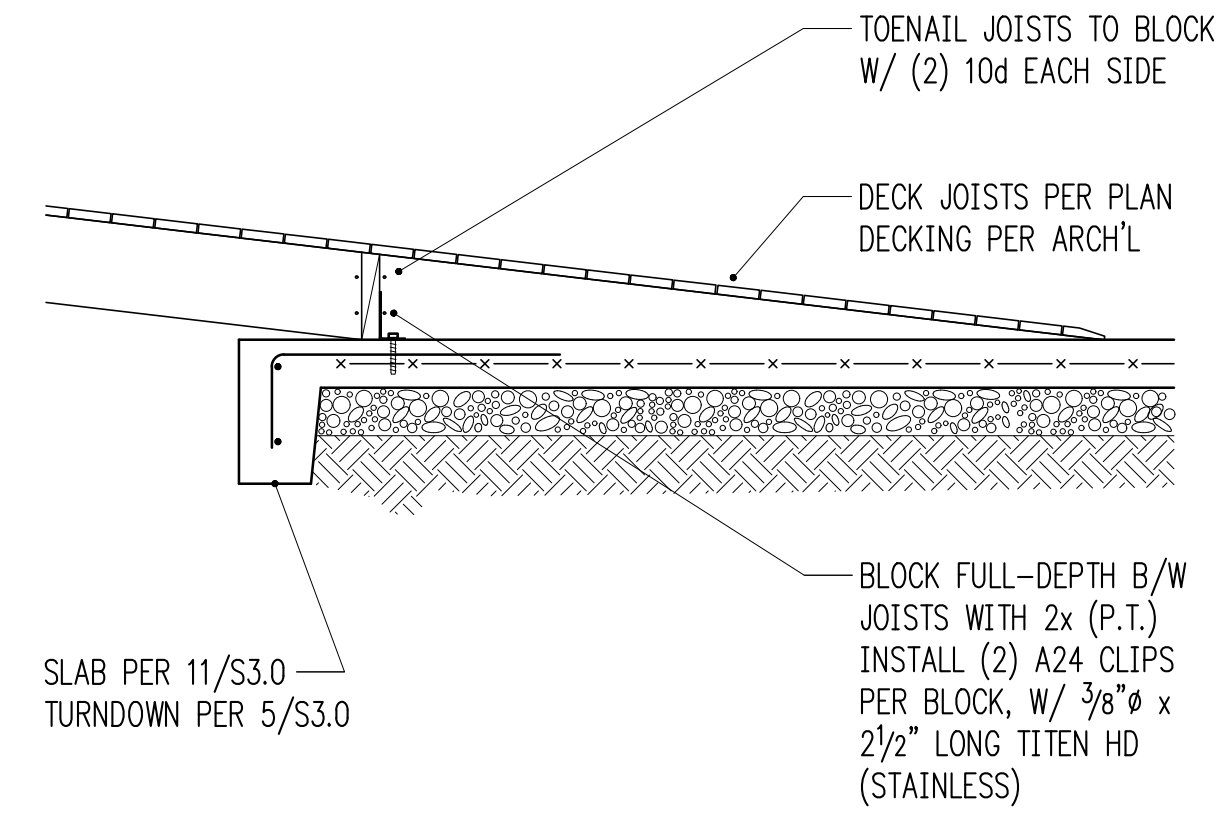
CHAN ADDITION



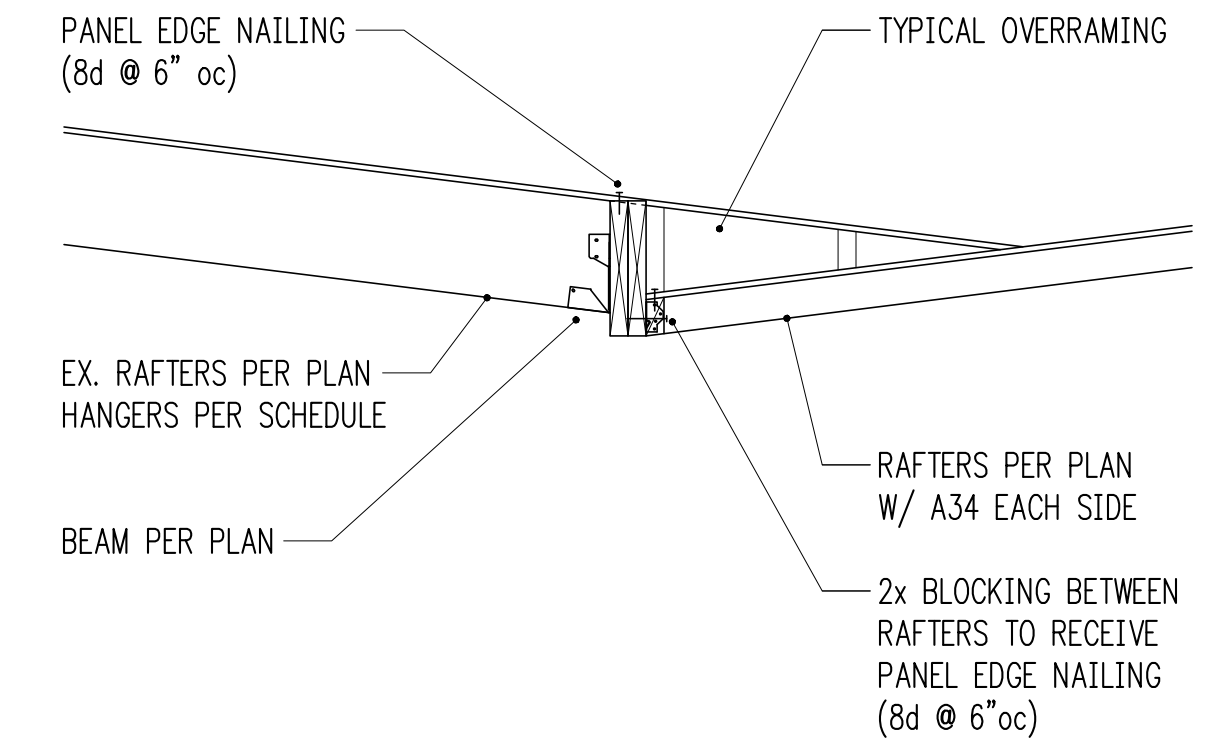
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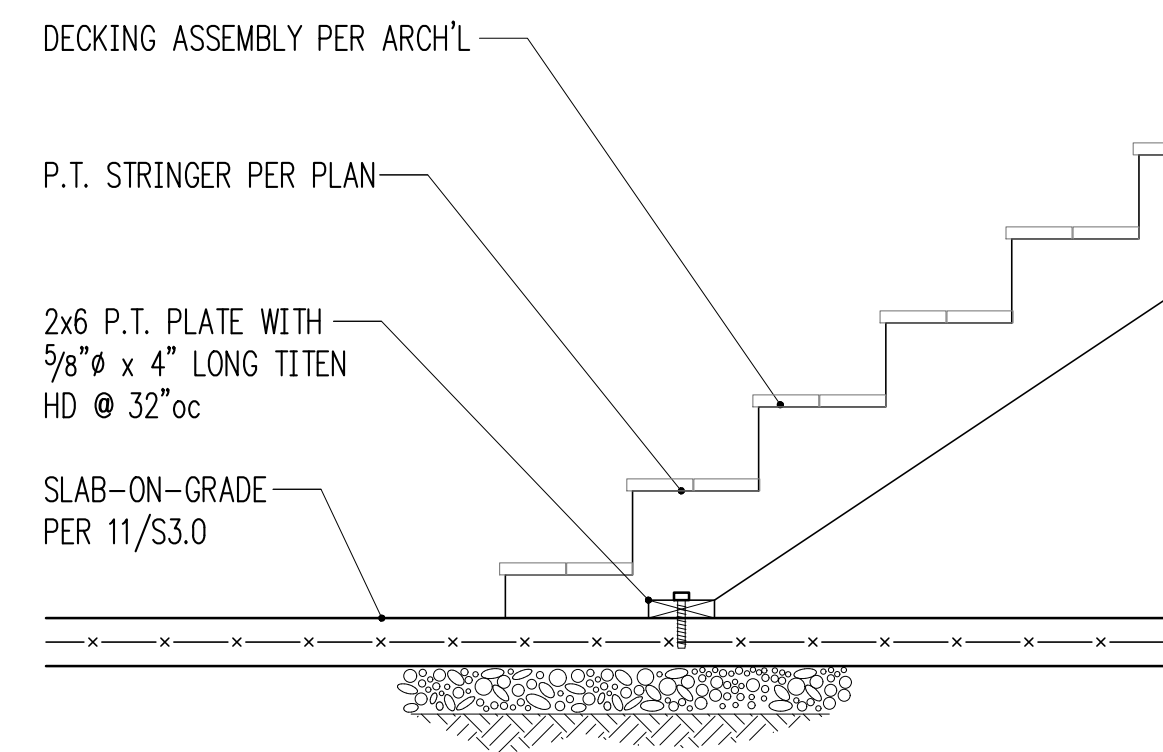
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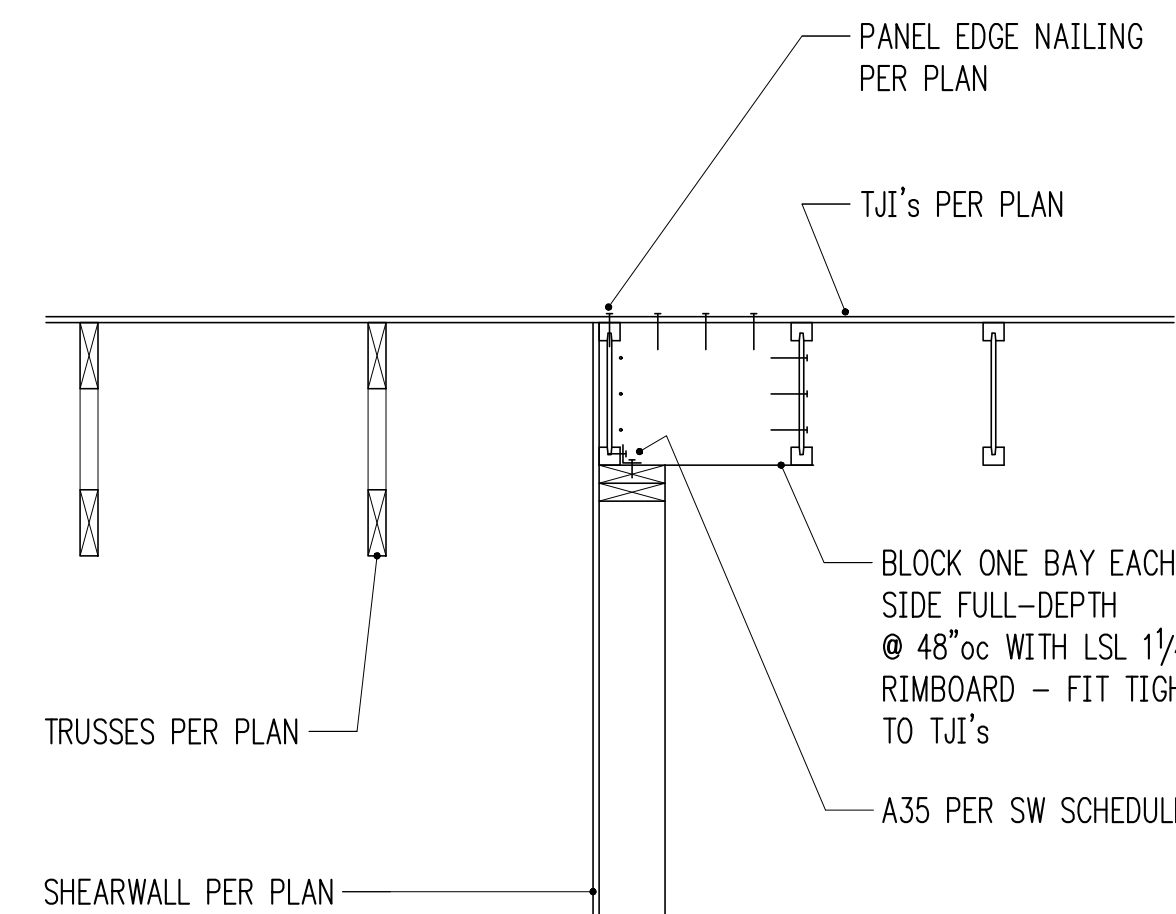
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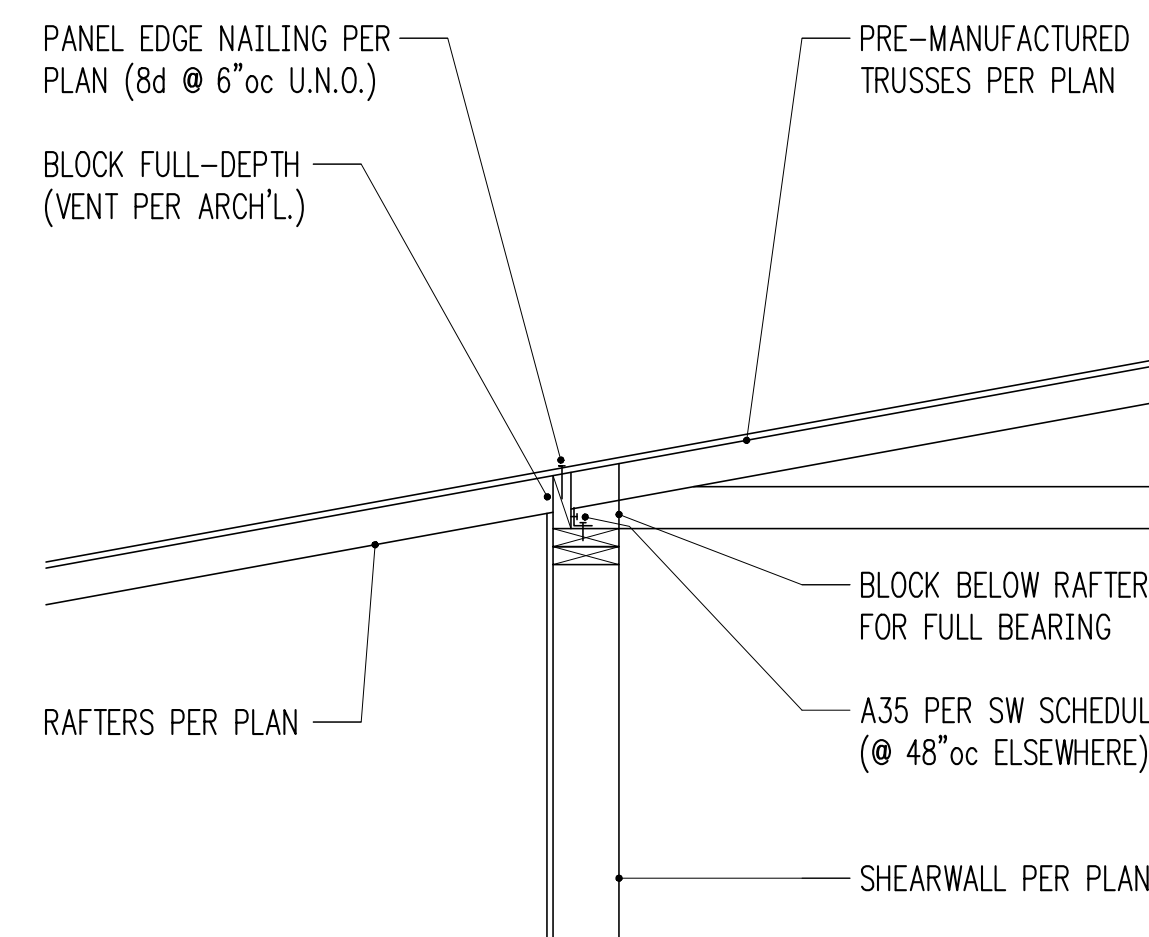
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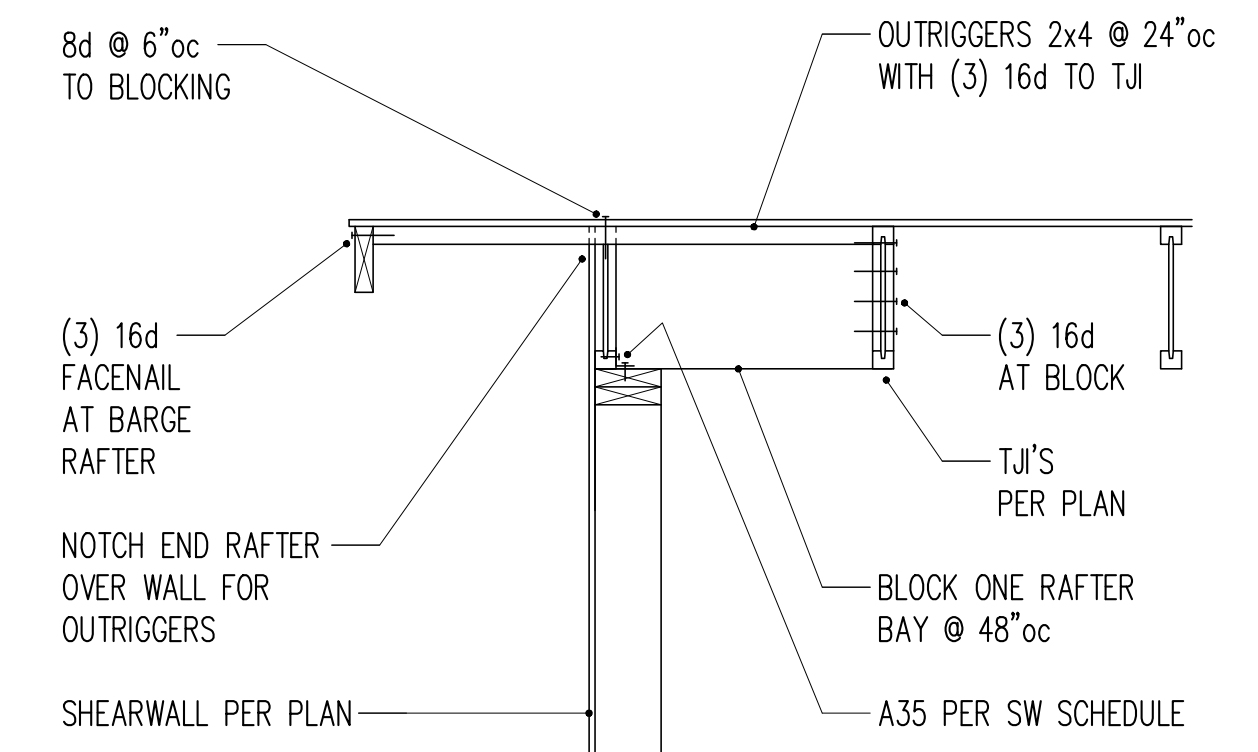
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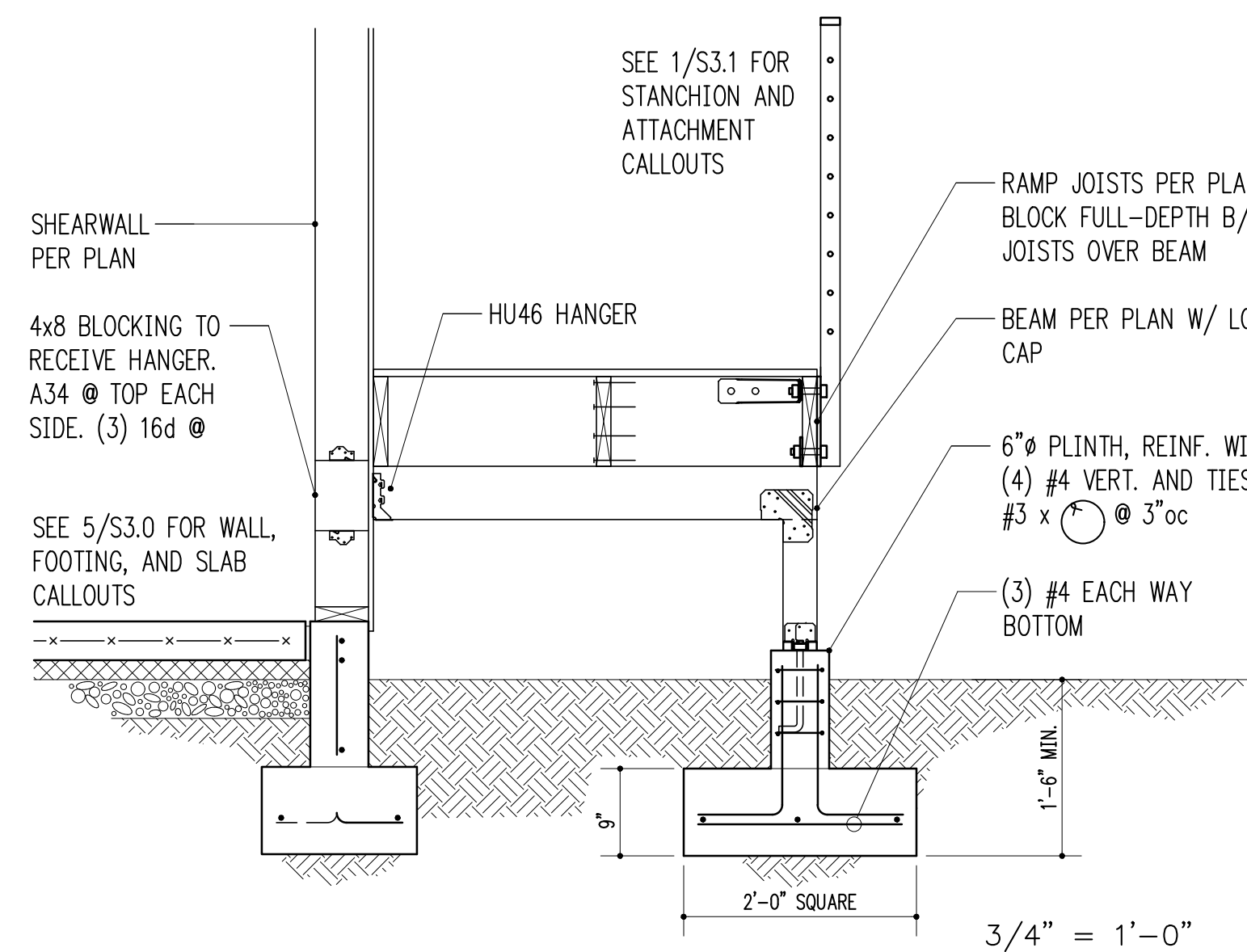
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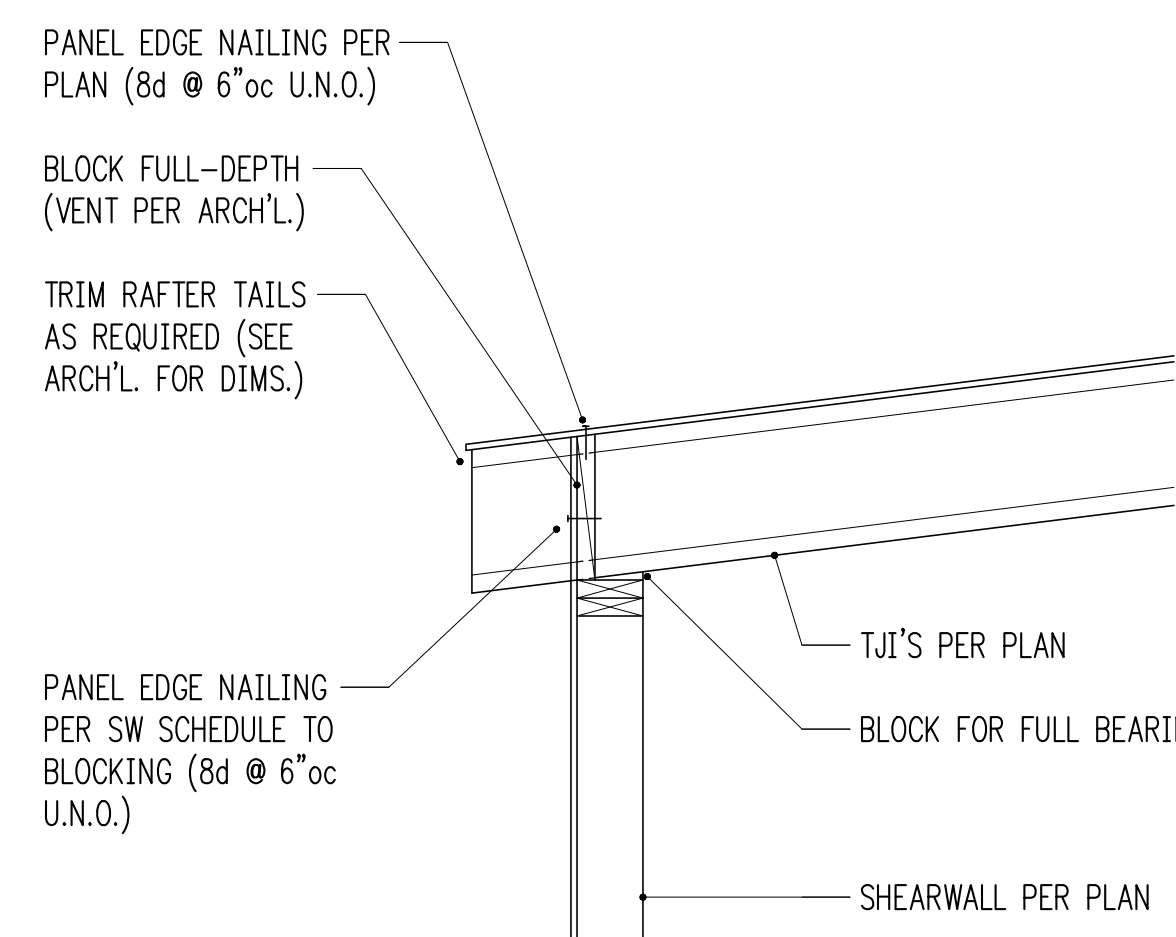
3/4" = 1'-0" 7



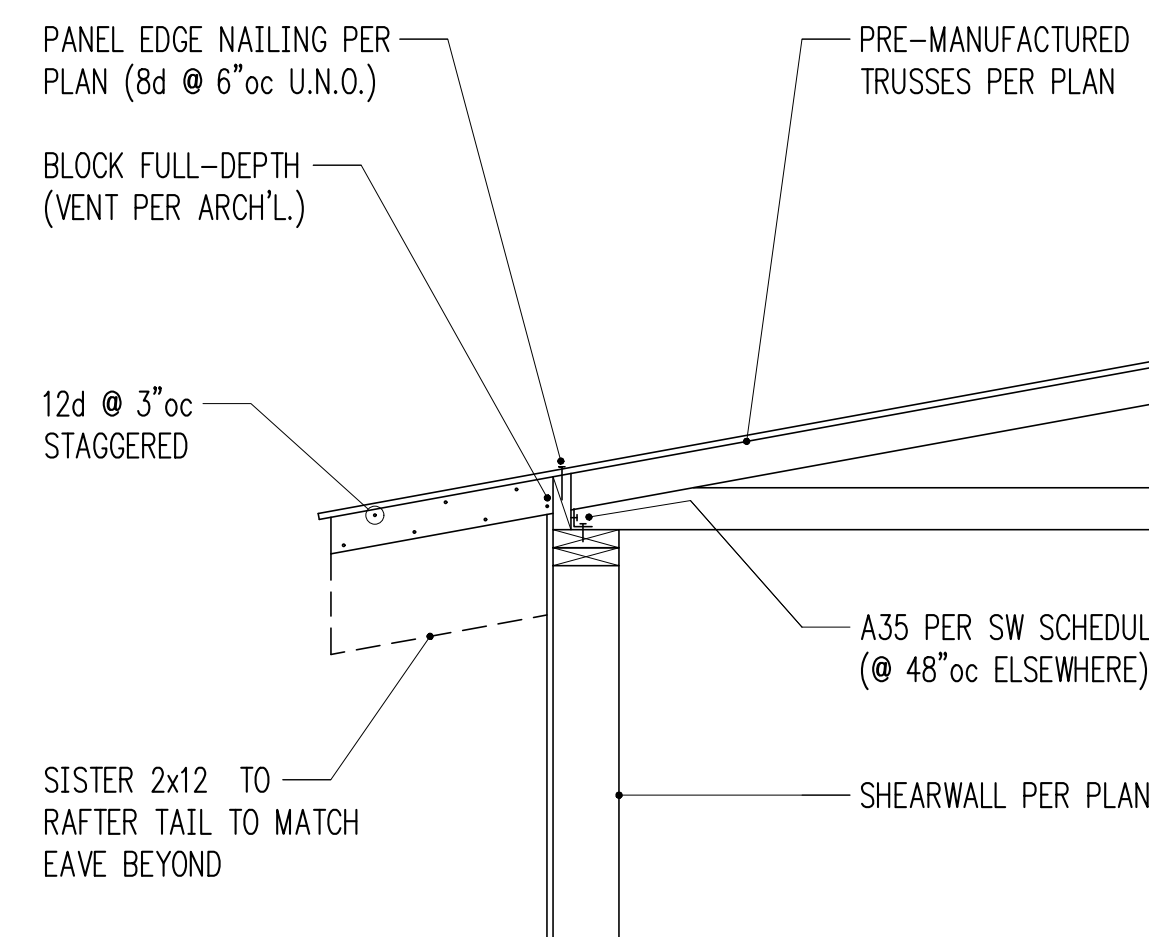
3/4" = 1'-0" 8



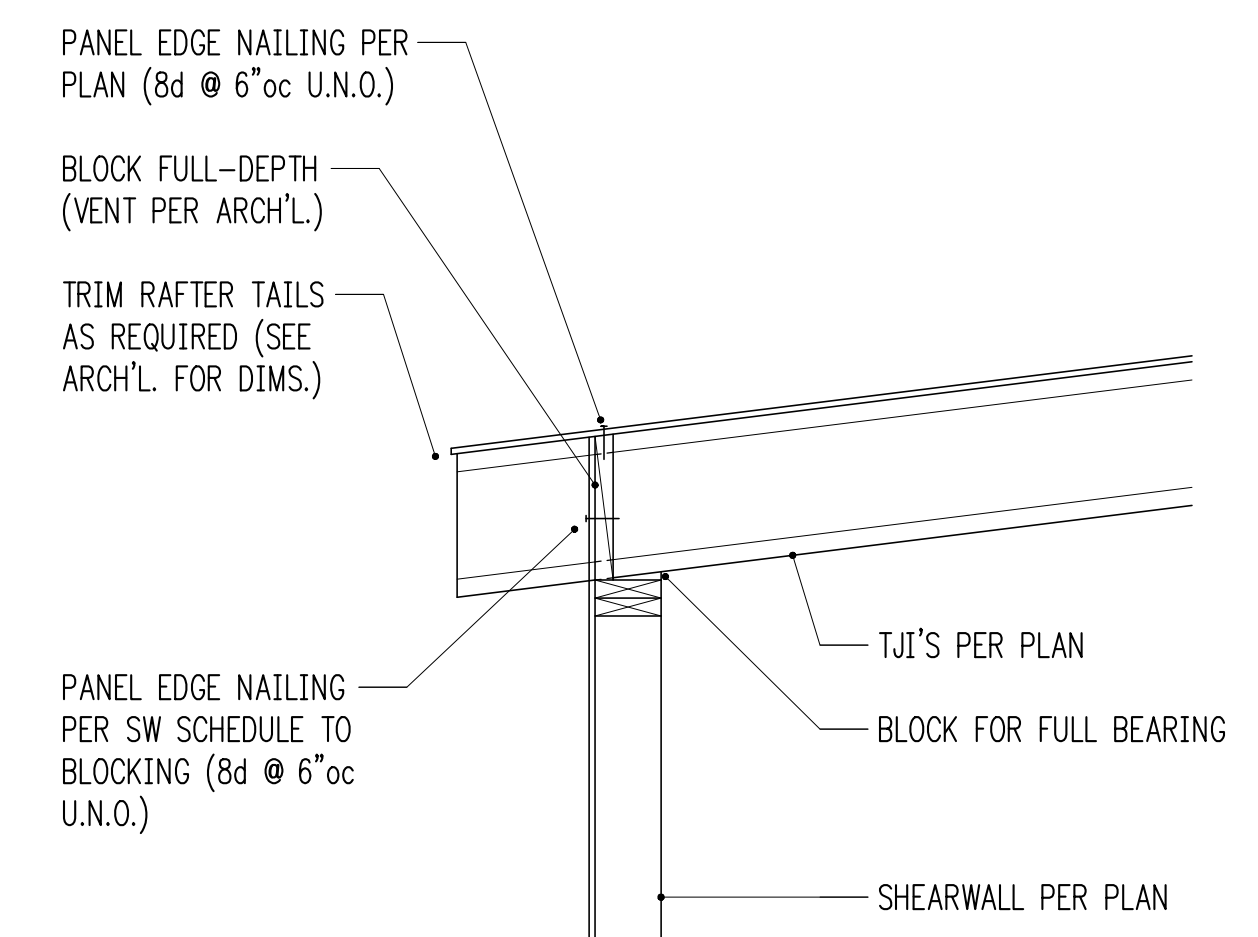
3/4" = 1'-0" 9



3/4" = 1'-0" 10



3/4" = 1'-0" 11



3/4" = 1'-0" 12



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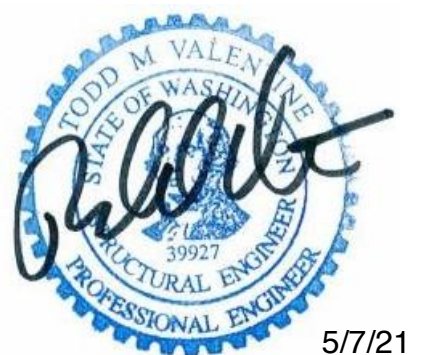
Building Department Approval

Drawing Title
 STRUCTURAL DETAILS

Drawing Number

S3.1

CHAN ADDITION



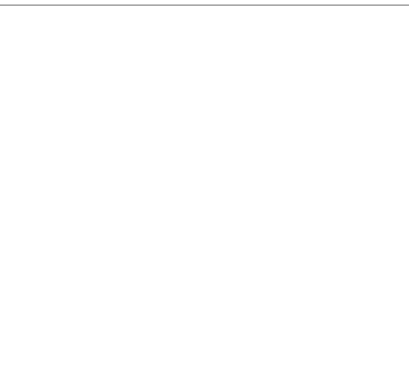
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Drawing Title
STRUCTURAL DETAILS

Drawing Number

S3.2

CHAN ADDITION

3/4" = 1'-0" 1

3/4" = 1'-0" 2

3/4" = 1'-0" 3

3/4" = 1'-0" 4

3/4" = 1'-0" 5

3/4" = 1'-0" 6

3/4" = 1'-0" 7

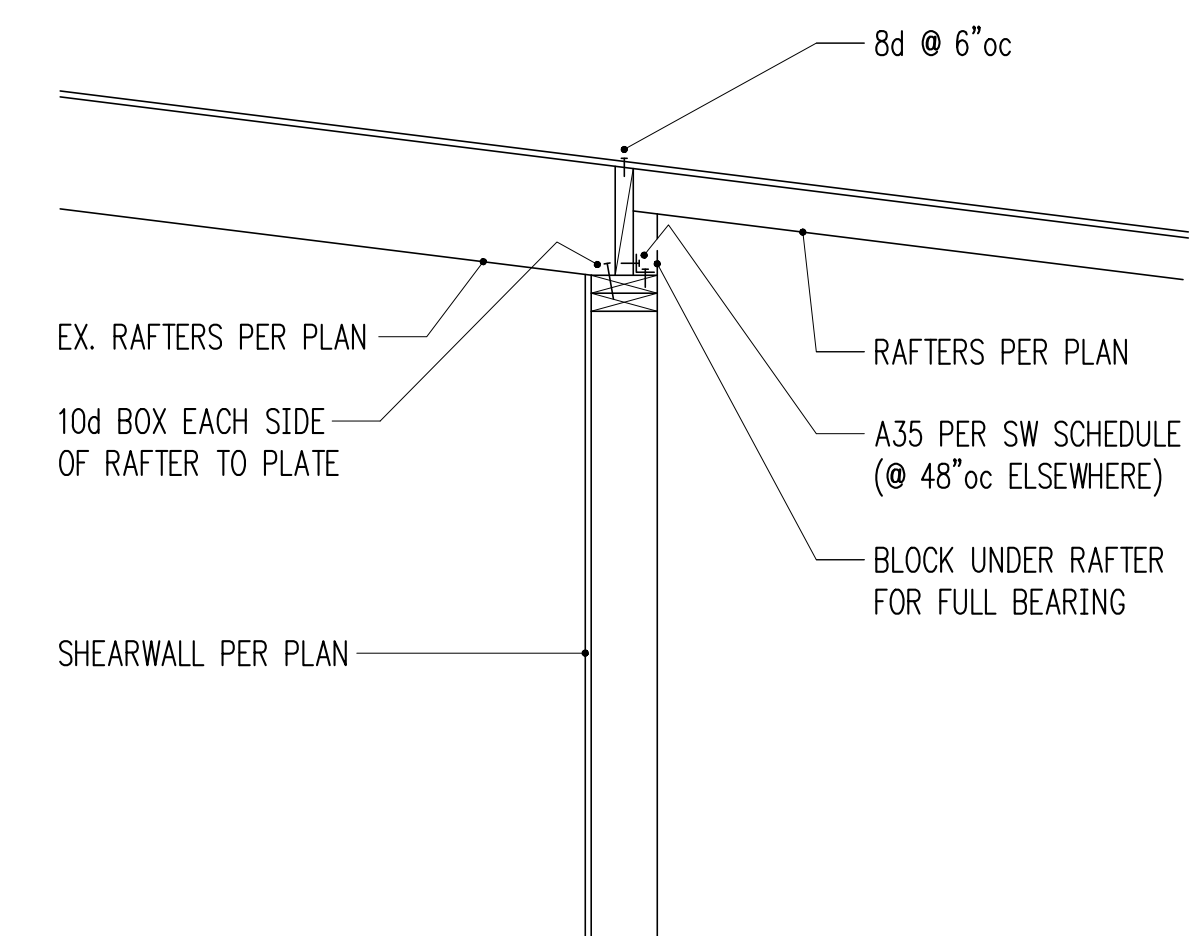
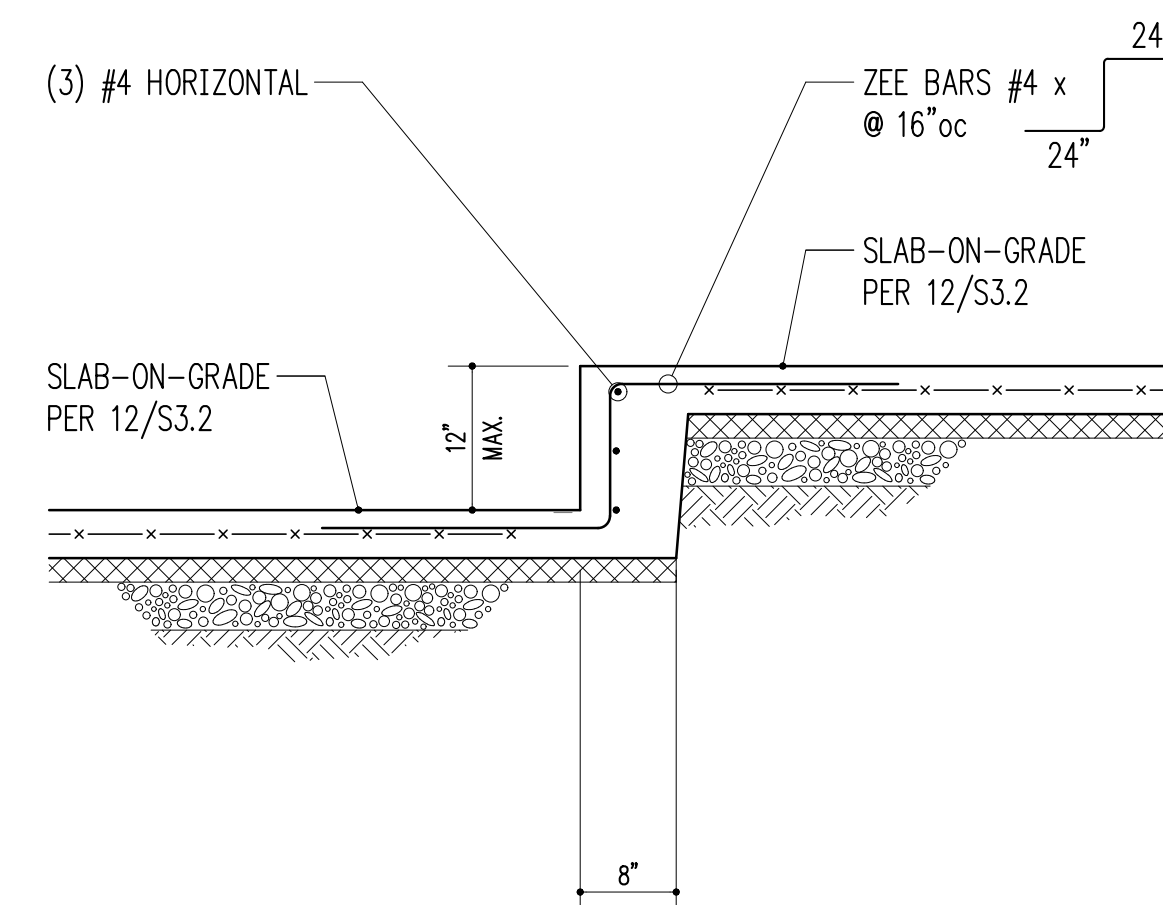
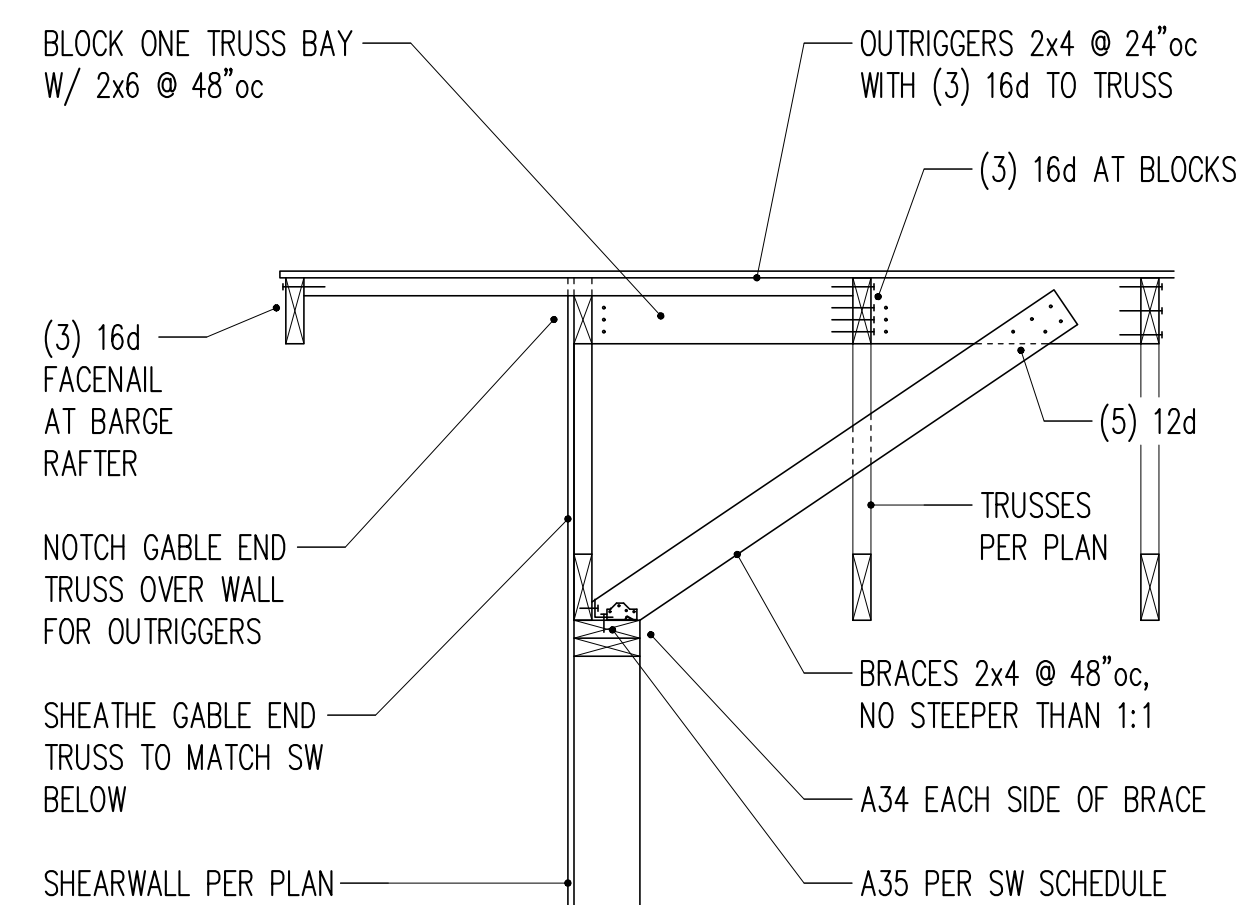
3/4" = 1'-0" 8

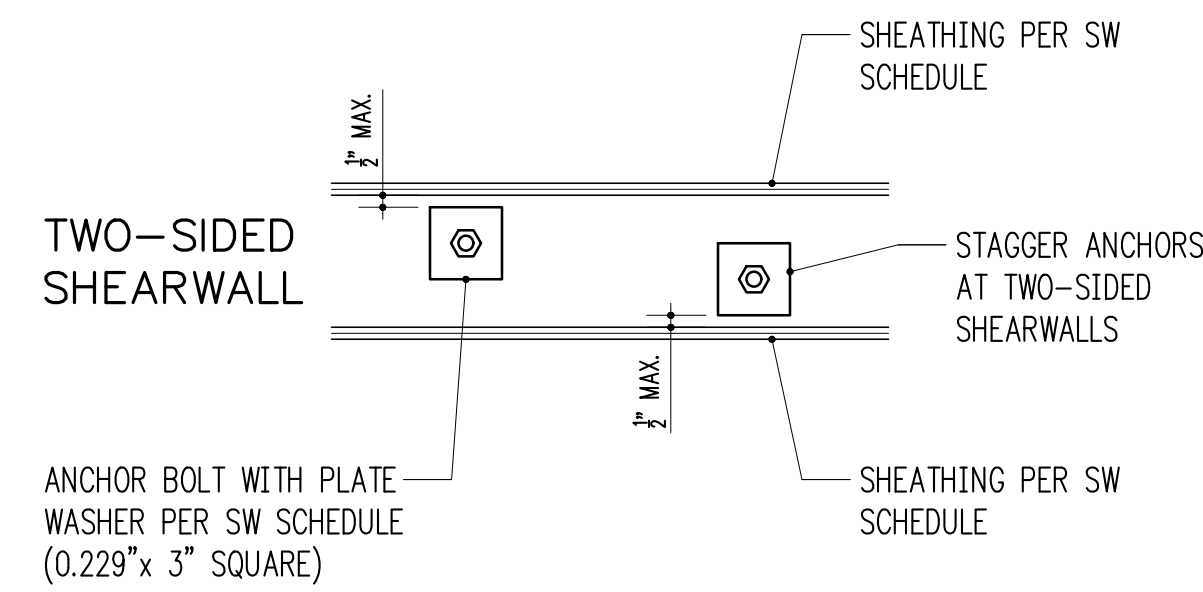
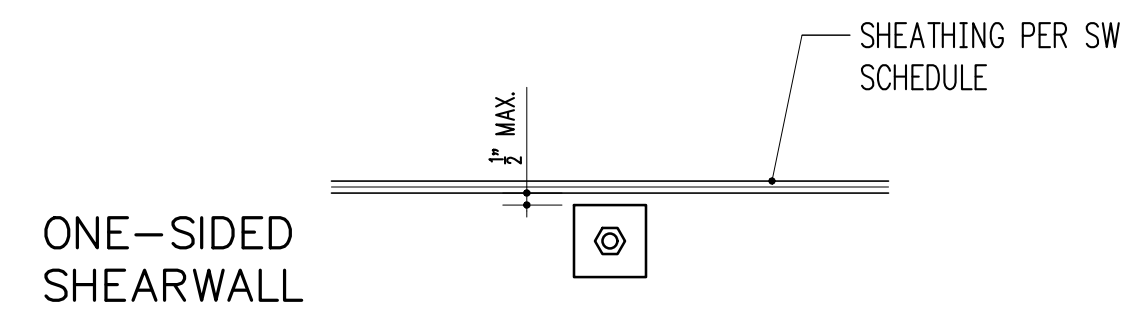
3/4" = 1'-0" 9

3/4" = 1'-0" 10

3/4" = 1'-0" 11

3/4" = 1'-0" 12



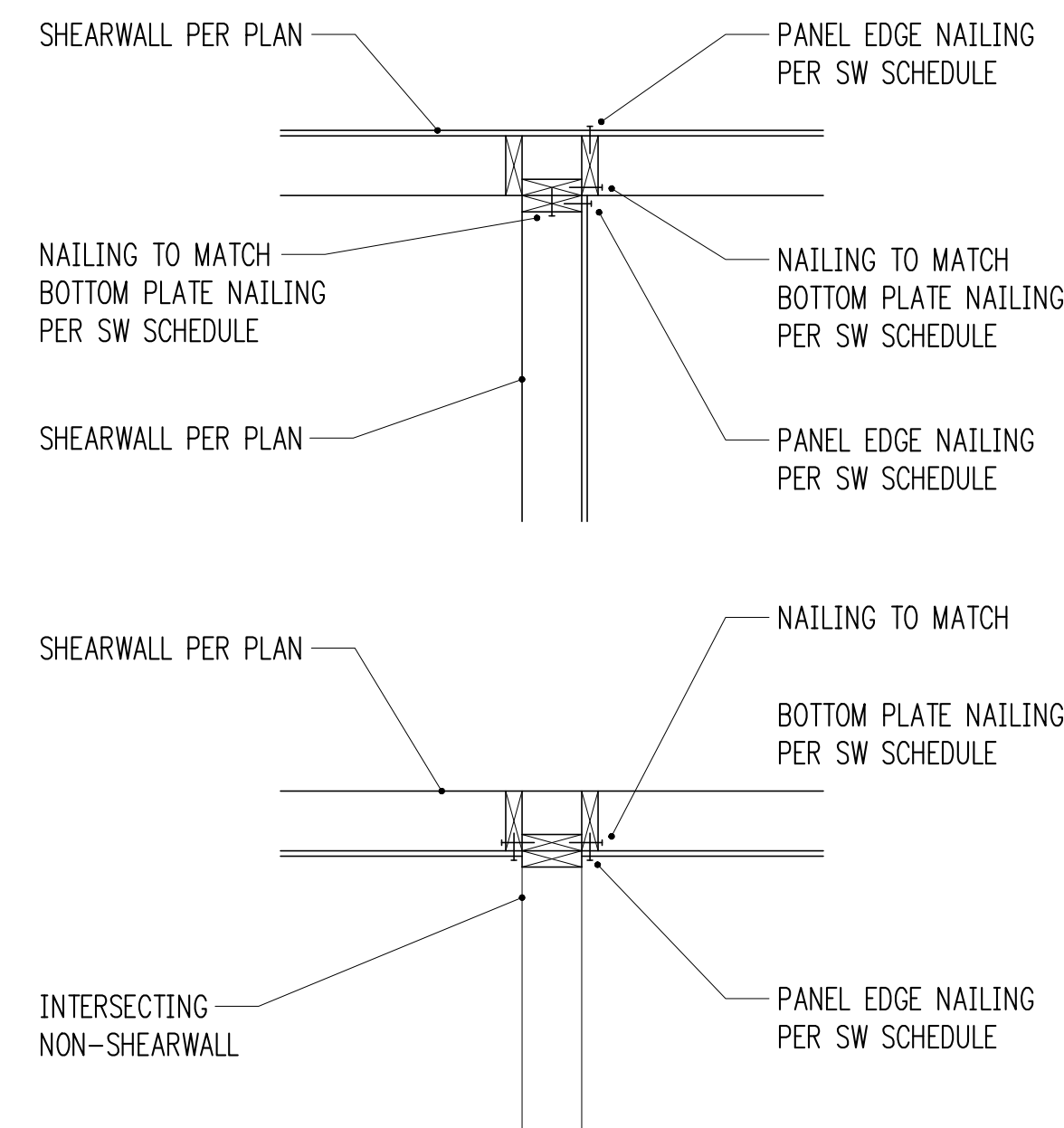


TYPICAL SHEARWALL ANCHOR BOLT PLACEMENT
3/4" = 1'-0" 1

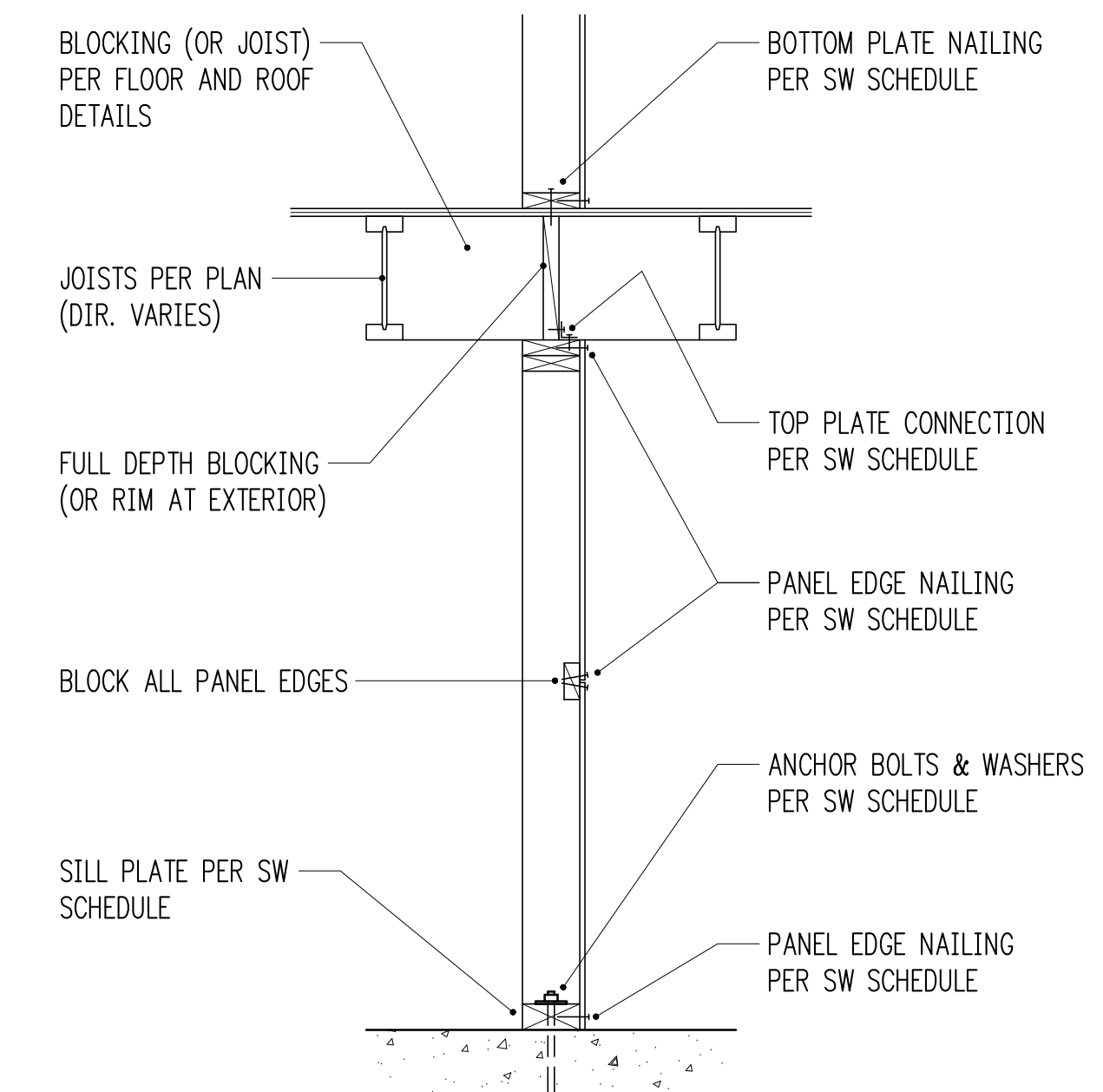
SHEARWALL SCHEDULE (NOT ALL USED ON PLANS)

MARK	SHEATHING ¹	STUDS AT ABUTTING PANEL EDGES ²	PANEL EDGE NAILING ^{3,4}	RIM JOIST OR BLOCKING TO TOP PLATE		BOTTOM PLATE ATTACHMENT		
				SOLID RIM	TJI RIM	BOTTOM PLATE TO RIM JOIST BELOW ⁴	ANCHOR BOLT TO CONCRETE ⁵	SILL PLATE AT FOUND.
SW1	15/32" CDX PLYWOOD	2x	8d @ 6"oc	A35 @ 24"oc	16d @ 6"oc	16d @ 6"oc	5/8" @ 48"oc	2x
SW2	15/32" CDX PLYWOOD	2x	8d @ 4"oc	A35 @ 15"oc	16d @ 4"oc	16d @ 4"oc	5/8" @ 32"oc	2x
SW3	15/32" CDX PLYWOOD	3x	8d @ 3"oc	A35 @ 12"oc	N/A - USE SOLID RIM	16d @ 3"oc	5/8" @ 16"oc	2x
SW4	15/32" CDX PLYWOOD	3x	8d @ 2"oc	A35 @ 9"oc	N/A - USE SOLID RIM	16d @ 2"oc	5/8" @ 12"oc	2x
SW5	15/32" CDX PLYWOOD BOTH SIDES	3x	8d @ 3"oc	A35 @ 6"oc	N/A - USE SOLID RIM	(2) ROWS 16d @ 3"oc	5/8" @ 12"oc	3x
SW6	15/32" CDX PLYWOOD BOTH SIDES	3x	8d @ 2"oc	A35 @ 4 1/2"oc	N/A - USE SOLID RIM	(2) ROWS 16d @ 2"oc	5/8" @ 12"oc	3x

- WALL SHEATHING SHALL CONSIST OF APA RATED PLYWOOD WITH SPAN RATING 24/0. ALLOW 7/8" SPACING AT ALL PANEL EDGES AND ENDS OF PANELS. 7/16" APA RATED SHEATHING (OSB) MAY BE USED IN PLACE OF 15/32" CDX.
- STUDS AT ABUTTING PANEL EDGES MAY CONSIST OF (2)2x STUDS IN PLACE OF 3x STUDS - NAIL (2)2x STUDS TOGETHER WITH BOTTOM PLATE ATTACHMENT NAILING.
- BLOCK ALL PANEL EDGES W/ 2x4 FLAT, ATTACH W/ PANEL EDGE NAILING. TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SHEARWALLS. END STUDS SHALL RECEIVE PANEL EDGE NAILING. INTERMEDIATE STUDS SHALL BE 2x STUDS. NAIL SHEATHING TO INTERMEDIATE FRAMING MEMBERS WITH 8d @ 12"oc.
- 8d NAILS SHALL BE 0.131" DIAMETER x 2 1/2" (COMMON). 16d NAILS SHALL BE 0.135" DIAMETER x 3 1/2" (BOX).
- ANCHORS TO CONCRETE SHALL CONSIST OF CAST-IN-PLACE ANCHOR BOLTS, EXPANSION BOLTS, EPOXY GROUTED ALL-THREADS, OR TITEN HD HEAVY DUTY SCREW ANCHORS. CAST-IN-PLACE ANCHOR BOLTS HAVE A 7" EMBED AND SHALL BE J-BOLTS OR SHALL HAVE A HEX NUT AT THE BOTTOM END. EXPANSION BOLTS SHALL HAVE 5" EMBED AND SHALL NOT BE USED AT STEM WALL LOCATIONS WITH EDGE DISTANCE LESS THAN 5" (INSTEAD, USE EPOXY GROUTED ALL-THREADS OR TITEN HD ANCHORS). EPOXY GROUTED ANCHORS SHALL HAVE 5" EMBED AND 2 1/2" MIN. EDGE DISTANCE. TITEN HD ANCHORS SHALL HAVE 3 1/2" EMBED AND 1 3/4" MIN. EDGE DISTANCE. AT ALL ANCHOR BOLTS, PROVIDE STEEL PLATE WASHERS THAT ARE A MINIMUM OF 0.229" (3 GAUGE) x 3" x 3" (SIMPSON BP5/8-3 OR SIMILAR). PLACE BOLTS PER ANCHOR BOLT PLACEMENT DETAIL.



TYPICAL SHEARWALL INTERSECTIONS
3/4" = 1'-0" 7

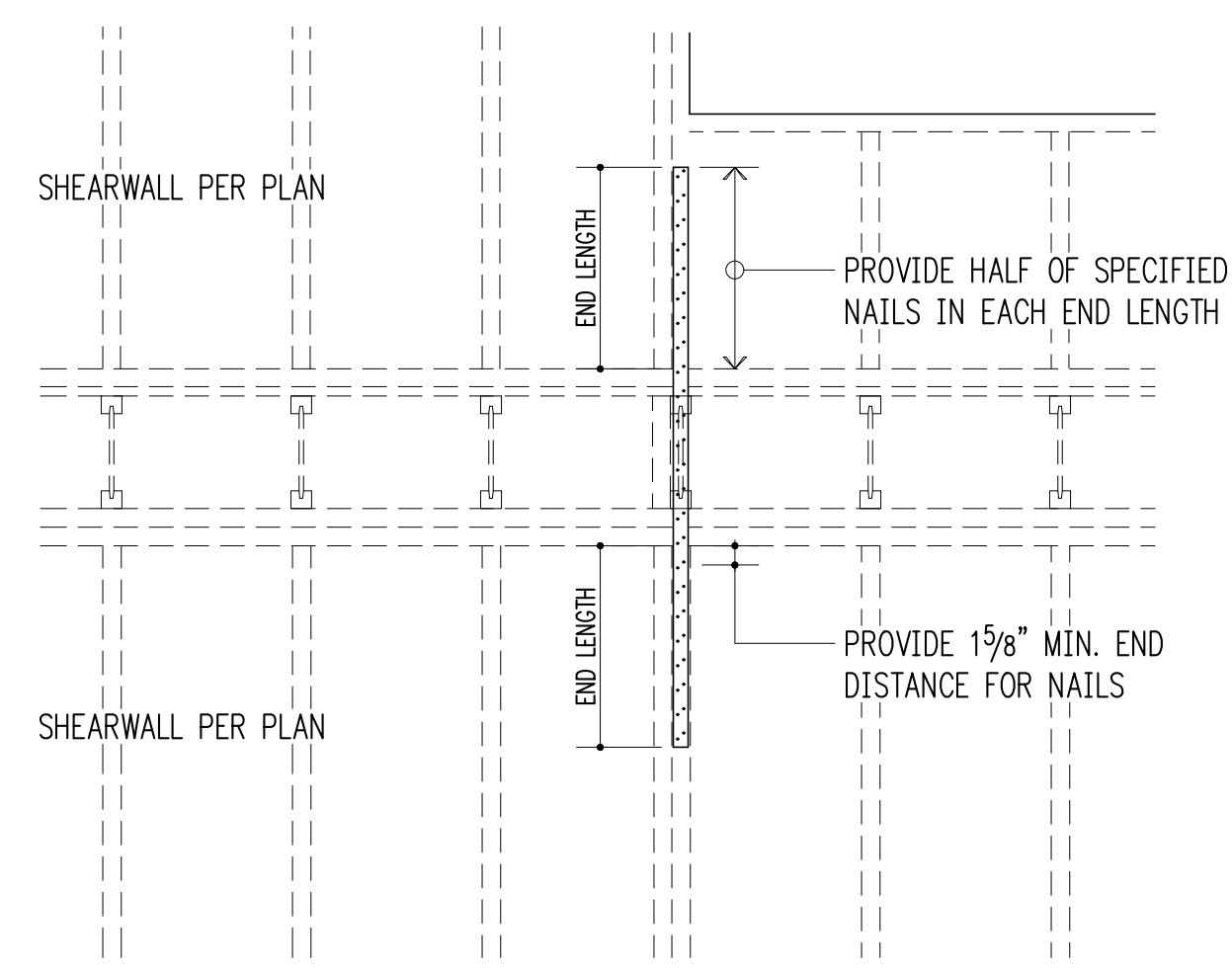


TYPICAL SHEARWALL SECTION
3/4" = 1'-0" 8

STRAP SCHEDULE (NOT ALL USED)

MARK	END LENGTH	NAILS	NAIL SPACING
CMST12	44"	(98) 10d x 3"	1 3/4"
CMST14	34"	(76) 10d x 3"	1 3/4"
CMSTC16	25"	(58) 12d x 3 1/4"	1 1/2"
CS14	19"	(36) 8d x 2 1/2"	2 1/16"
CS16	14"	(26) 8d x 2 1/2"	2 1/16"
CS18	12"	(22) 8d x 2 1/2"	2 1/16"
CS20	9"	(16) 8d x 2 1/2"	2 1/16"
CS22	8"	(14) 8d x 2 1/2"	2 1/16"

- 10d AND 12d DIAMETER = 0.148"; 8d DIAMETER = 0.131".
- USE HALF OF THE REQUIRED NAILS IN EACH MEMBER BEING CONNECTED (i.e. IN EACH END LENGTH).

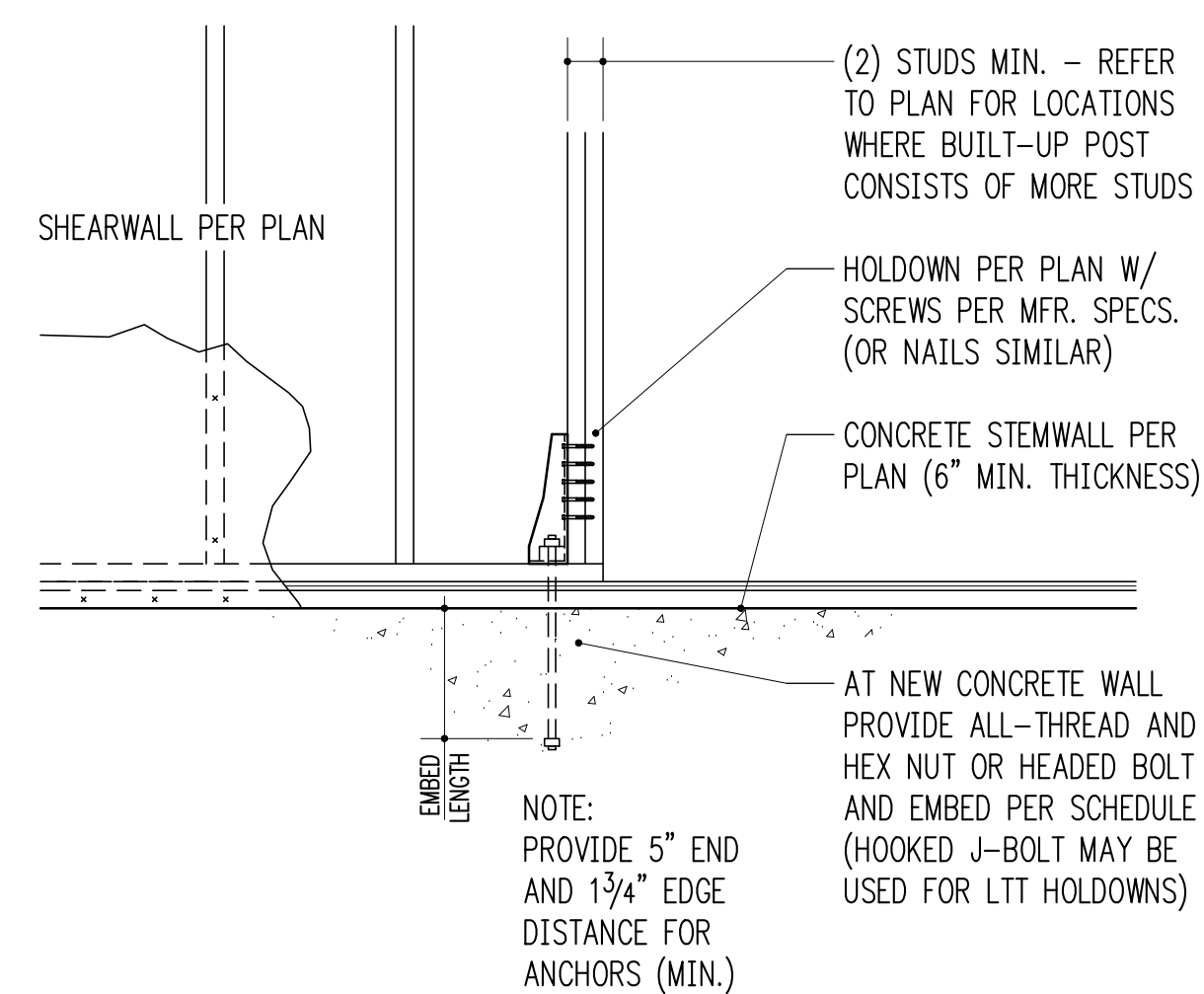


TYPICAL STRAP HOLDOWN AT FLOOR
3/4" = 1'-0" 6

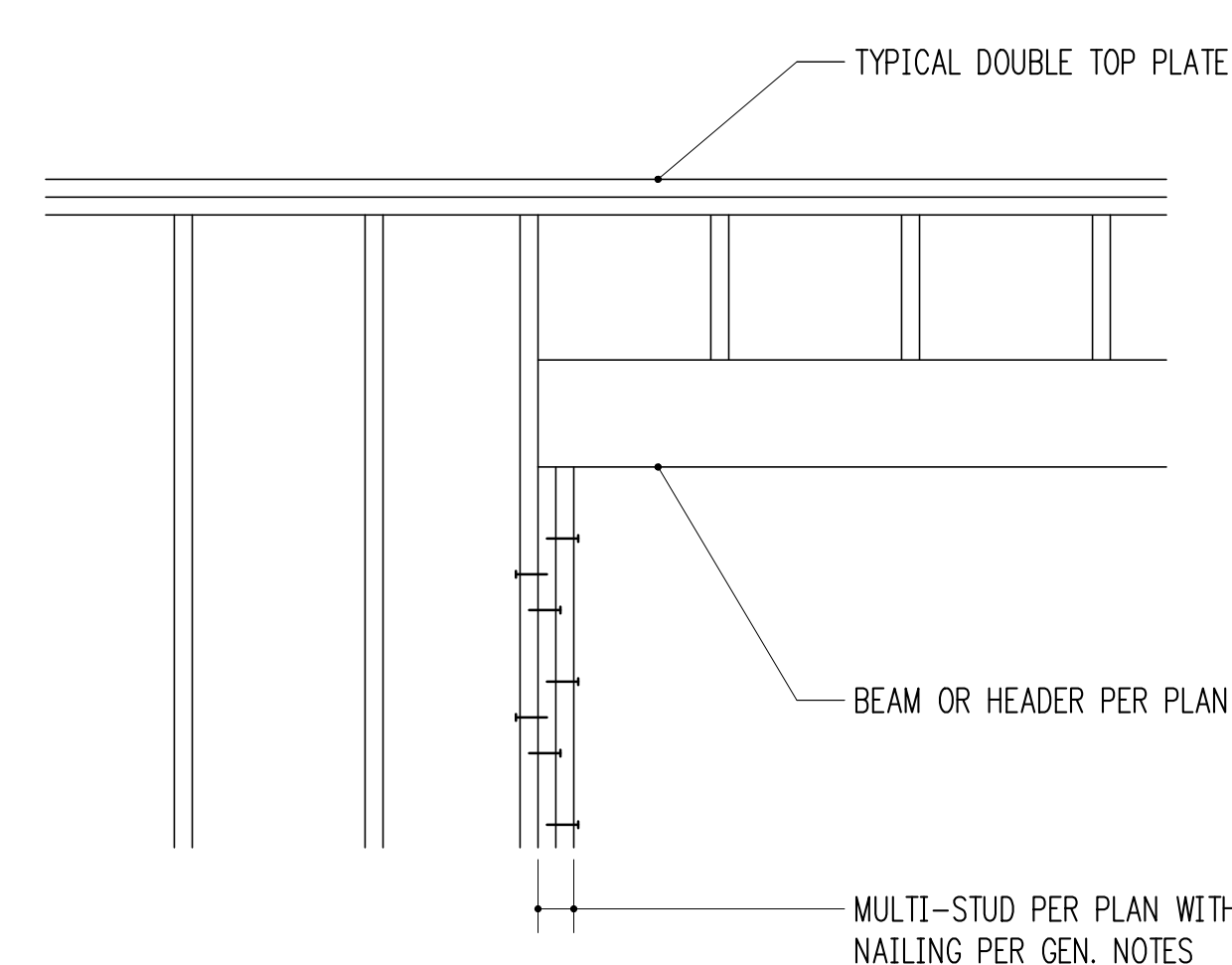
HOLDOWN SCHEDULE

MARK	FASTENERS TO STUDS ¹	ANCHOR DIA. ²	EMBEDMENT LENGTH		SSTB ⁵
			EPOXY ³	CAST-IN ⁴	
HDU2	(6) 1/4" @ x 2 1/2" SCREWS	5/8"	N/A	12"	SSTB16
HDU8	(20) 1/4" @ x 2 1/2" SCREWS	7/8"	N/A	9"	N/A

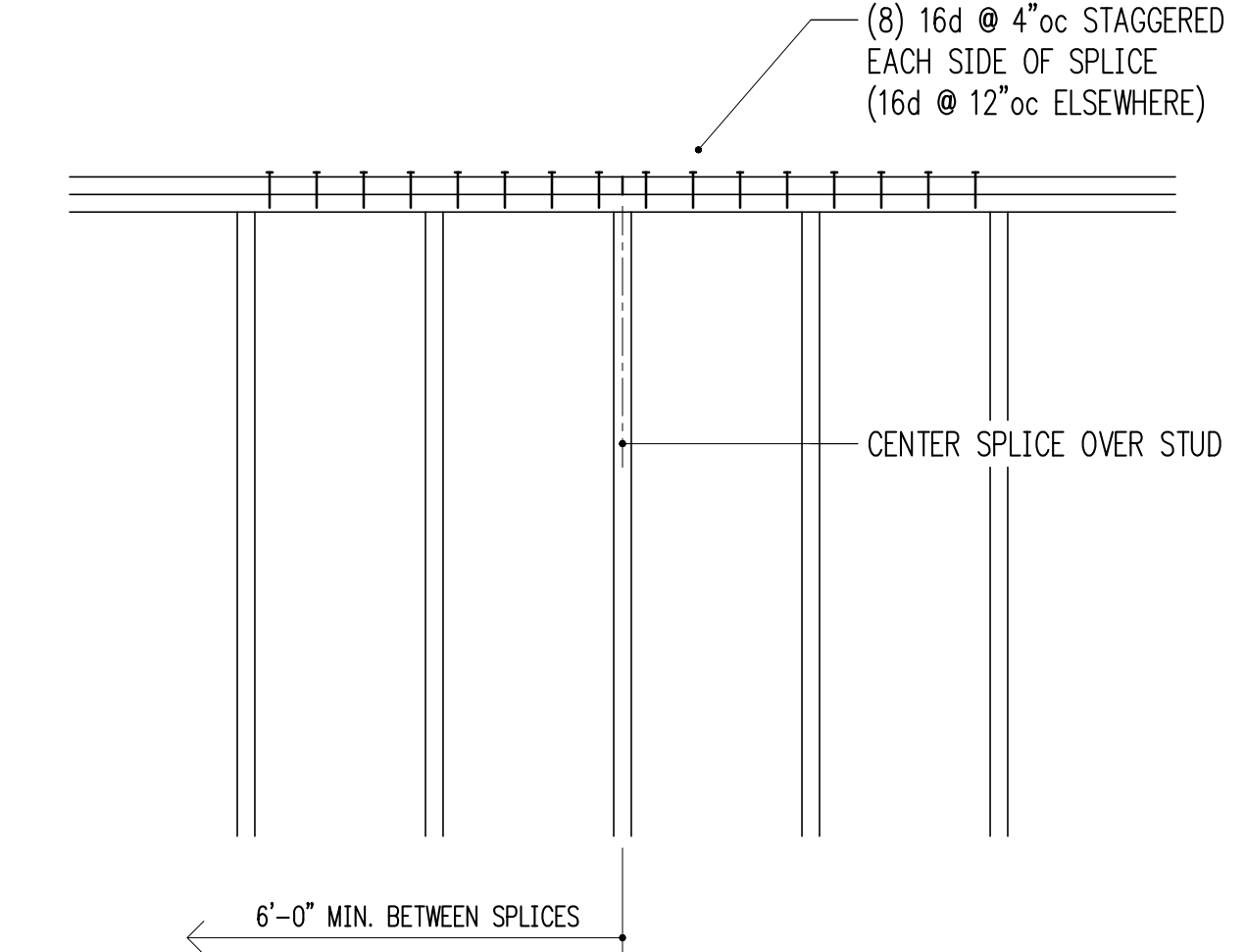
- 10d AND 12d DIAMETER = 0.148"; 16d DIAMETER = 0.162". SCREWS SHALL BE SIMPSON "SDS" TYPE SCREWS, INSTALL PER SIMPSON RECOMMENDATIONS.
- PROVIDE A36 OR A307 ALL-THREAD AT EPOXY AND CAST-IN ANCHORS.
- PROVIDE SIMPSON "SET-XP" EPOXY PER GENERAL STRUCTURAL NOTES. SPECIAL INSPECTION IS REQUIRED.
- AT CAST-IN ANCHORS PROVIDE HEAVY HEX NUT AT BOTTOM OF ALL-THREAD.
- AT 3x SILL PLATES, PROVIDE LONGER SSTBL MODELS.



TYPICAL HOLDOWN AT CONCRETE
3/4" = 1'-0" 10



TYPICAL MULTIPLE-STUD POST CONSTRUCTION
3/4" = 1'-0" 11



TYPICAL TOP PLATE SPLICE CONSTRUCTION
3/4" = 1'-0" 12



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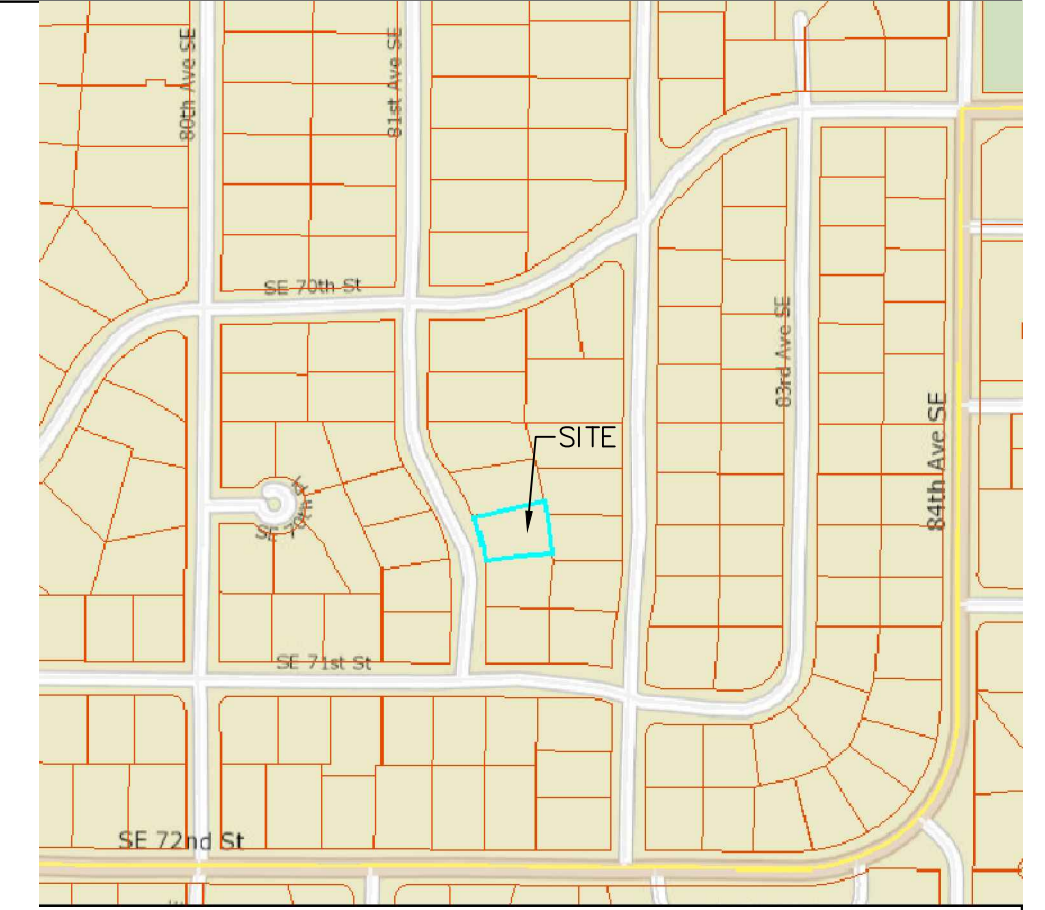
Issue Date: 11/24/20
Issue Description: Permit Submittal

Building Department Approval

Drawing Title
STRUCTURAL DETAILS

Drawing Number

S4.0



VICINITY MAP

PARCEL # 873230-0240

LEGAL DESCRIPTION:
 (PER STATUTORY WARRANTY DEED RECORDING# 20120628001442)
 LOT 3, BLOCK 4, TWIN VIEW NO. 2, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 64 OF PLATS, PAGES 90 AND 91, IN KING COUNTY, WASHINGTON.

EXISTING HARD SURFACE AREA:

TOTAL LOT AREA	10,323 SF
IMPERVIOUS HARD SURFACE:-	
EXISTING MAIN BUILDING ROOF AREA	2,040 SF
EXISTING GARAGE AND SHED/STORE	998 SF
EXISTING COVERED PATIO/DECK	410 SF
EXISTING ASPHALT DRIVE WAY	922 SF
EXISTING WALK WAY (60+124)	184 SF
TOTAL EXISTING IMPERVIOUS	4,554 SF

PERVIOUS HARD SURFACE:-

EXISTING UNCOVERED DECK	247 SF
TOTAL HARD SURFACE	4,801 SF

TOTAL% EXISTING HARD SURFACE COVERAGE = 46.5%

PROPOSED HARD SURFACE AREA:

TOTAL LOT AREA	10,323 SF
IMPERVIOUS HARD SURFACE:-	
EXISTING MAIN BUILDING ROOF AREA	2,040 SF
NEW GARAGE AND ADU ROOF AREA	1,518 SF
NEW COVERED PATIO/DECK	145 SF
NEW ASPHALT DRIVE WAY	981 SF
NEW WALK WAY/STAIR/RET.WALL	47 SF
TOTAL IMPERVIOUS	4,731 SF

PERVIOUS HARD SURFACE:-

EXISTING UNCOVERED DECK	247 SF
REPLACED WALK WAY/PERVIOUS PAVERS	60 SF

TOTAL HARD SURFACE 5,038 SF

TOTAL% EX/NEW/REPLCED HARD SURFACE COVERAGE = 49%

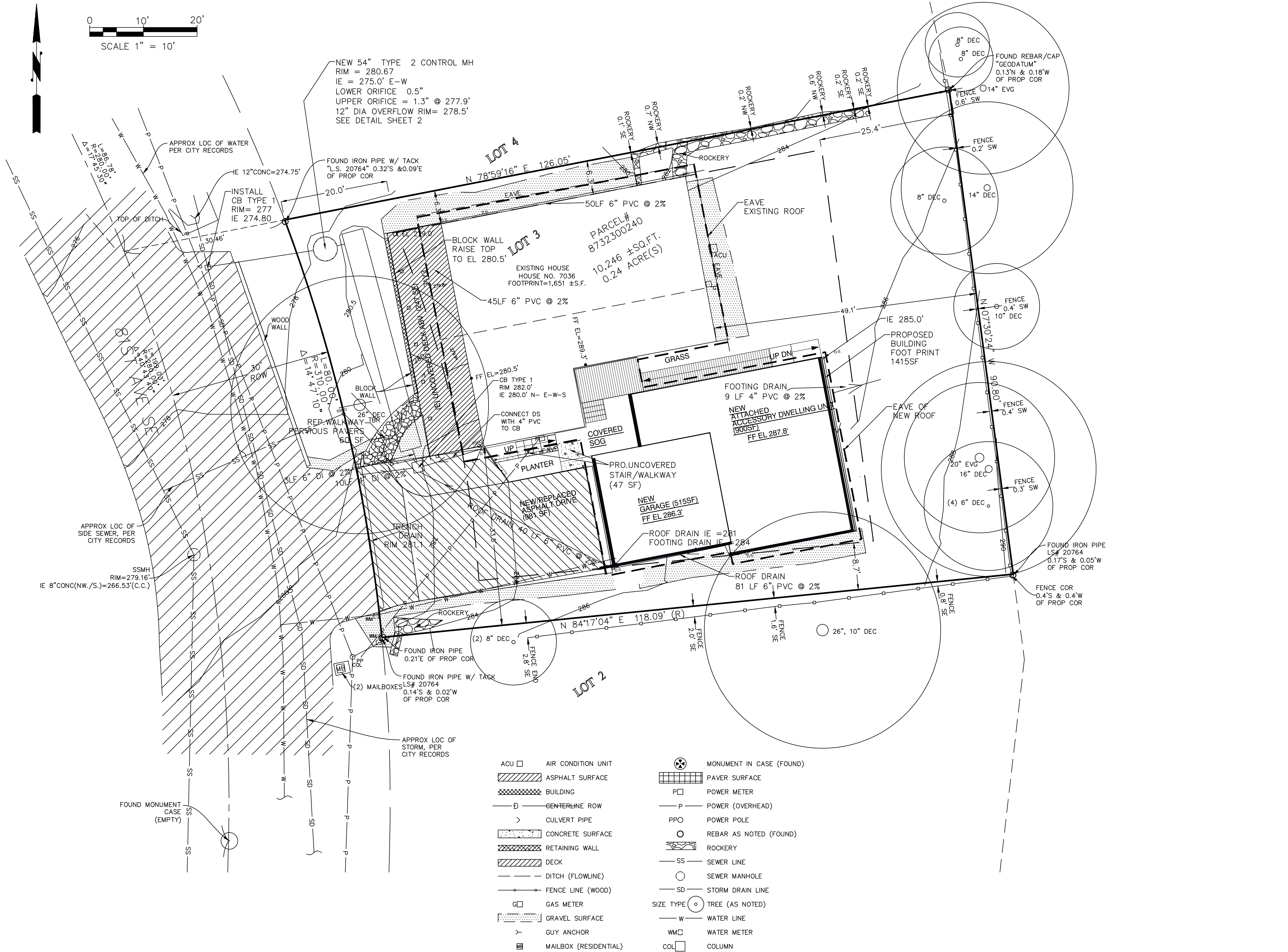
REPLACED HARD SURFACE	2514 SF (24.35%)
ADDED NEW HARD SURFACE	237 SF (2.30%)
TOTAL REP/NEW HARD SURFACE	2,751 SF

TOTAL% NEW/REPLCED HARD SURFACE COVERAGE = 26.65%

DETENTION PIPE DESIGN AREA

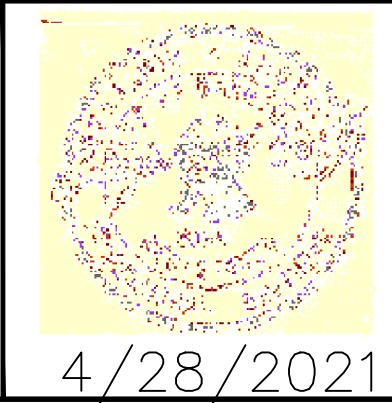
REPLACED/NEW IMPERVIOUS	2,691 SF
EXISTING IMP. WITH COMBINED DS	840 SF
TOTAL IMP. FOR DETENTION	3,531 SF

- NOTES:
- SITE PLAN PROVIDED BY WASCHA STUDIOS ARCHITECTS
 - SURVEY PROVIDED BY TARRANE SITE SURVEYING INC
 - CALL 811 AND 1-800-424-5555 BEFORE DIGGING.
 - THE UTILITY LOCATIONS MUST BE LOCATED BY THE CONTRACTOR BEFORE DIGGING. THE ENGINEER HAS NO RESPONSIBILITY FOR ANY UTILITIES HEREON GRAFTED ON THIS PLAN.
 - CONNECT SEWER AND WATER FROM ADU TO EXISTING SEWER AND WATER FOR EXISTING HOUSE
 - EXISTING GARAGE AND STORE NEED TO BE REMOVED. EXISTING PAVING AND SMALL GRADING STRUCTURES NEED TO BE REMOVED IN CLEARING LIMIT
 - CIVIL ENGINEER TO PROVIDE LETTER THAT POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS ARE MET PER BMP 15.13
 - A TV INSPECTION OF THE SIDE SEWER WILL BE REQUIRED AND MUST BE ACCEPTED BY THE CITY OF MERCER ISLAND
 - PLAN MAY REQUIRE MODIFICATION AND REVIEW BY CITY AFTER POT-HOLING UTILITIES
 - ALL THE EXISTING TREES WILL BE RETAINED
 - THE CITY WATER MAIN, STORM MAIN AND OTHER UTILITIES MUST BE POTHOLED PRIOR TO ANY WORK IN THE CITY RIGHT OF WAY. IF THERE ARE CONFLICTS FOUND, THEN A REVISED DESIGN PREPARED BY THE PROJECT PROFESSIONAL MUST BE SUBMITTED AND APPROVED PRIOR TO THE WORK.



NO	DATE	BY	APPR	REVISIONS

ANSTEY ENGINEERING
 ae 8627 NE 180th Street
 Bothell, WA 98011
 Ph: 206-303-7639
 Email: benanstey@ansteyengineering.com



Approved By 

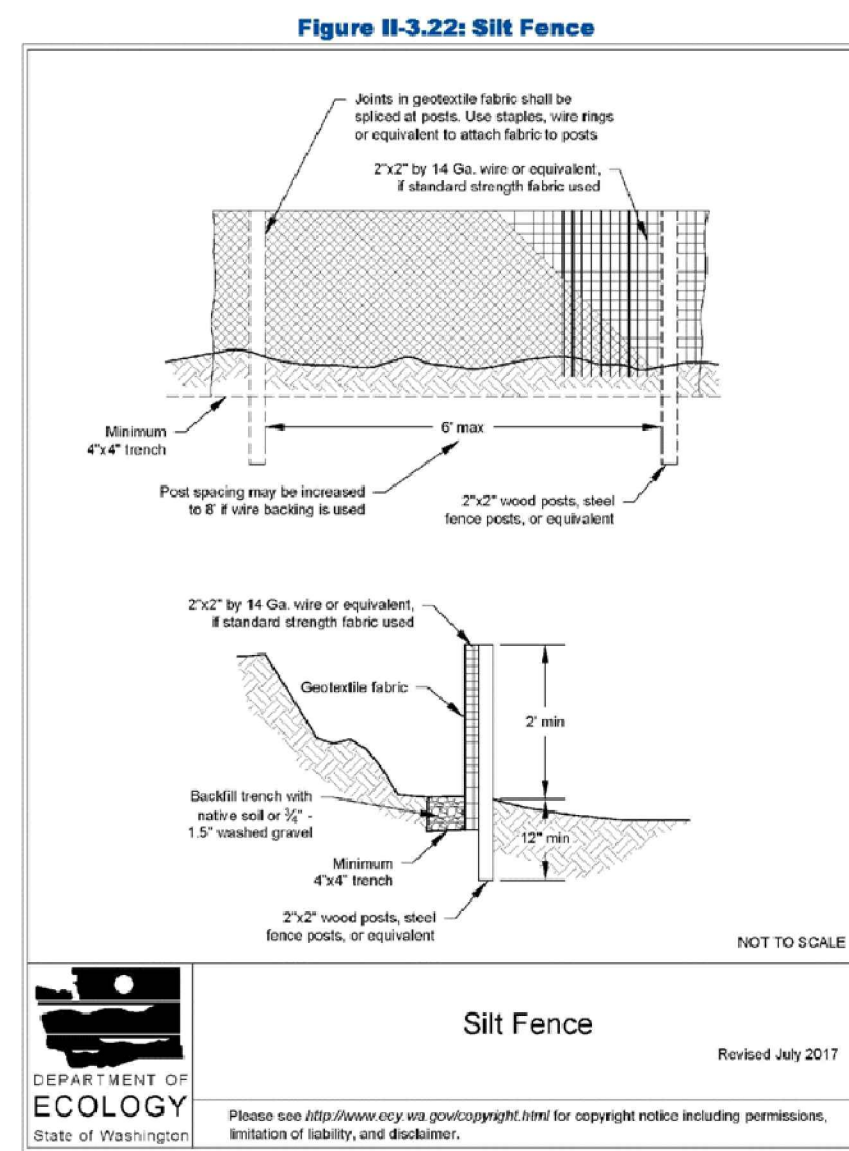
BPA 11/16/20
 DESIGNED BY DATE
 BPA 11/16/20
 DRAWN BY DATE
 CHECKED BY DATE

CHAN RESIDENCE
 7036 81ST AVE SE
 MERCER ISLAND, WA 98040

SITE & DRAINAGE PLAN
 AE2020-97 SHT 1 OF 2

RECOMMENDED CONSTRUCTION SEQUENCE:

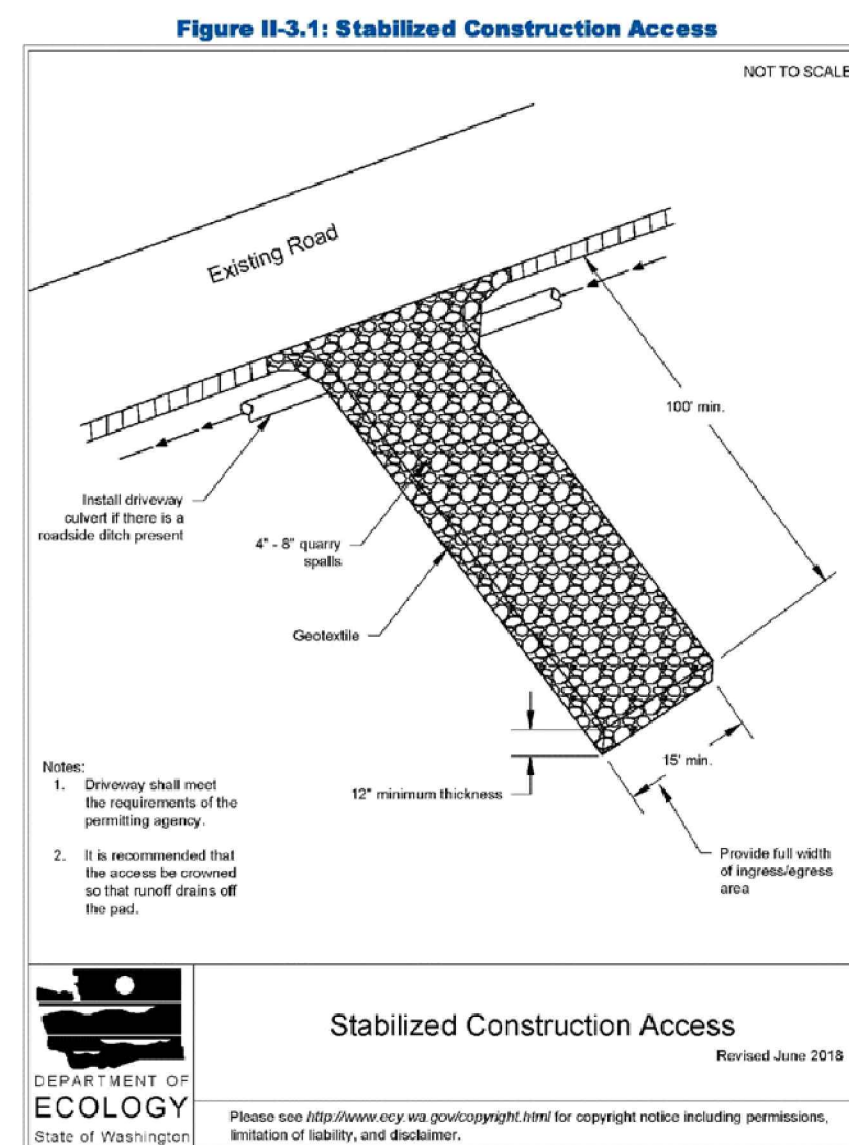
1. HOLD AN ONSITE PRE-CONSTRUCTION MEETING.
2. POST SIGN WITH NAME AND PHONE NUMBER OF ESC SUPERVISOR (MAY BE CONSOLIDATED WITH THE REQUIRED NOTICE OF CONSTRUCTION SIGN).
3. FLAG OR FENCE CLEARING LIMITS.
4. INSTALL CATCH BASIN PROTECTION, IF REQUIRED.
5. GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
6. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
7. CONSTRUCT SEDIMENT PONDS AND TRAPS.
8. GRADE AND STABILIZE CONSTRUCTION ROADS.
9. CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
10. MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
11. RELOCATE SURFACE WATER CONTROLS OR TESC MEASURES, OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE TESC IS ALWAYS IN ACCORDANCE WITH CITY OF MERCER ISLAND TESC REQUIREMENTS.
12. COVER ALL AREAS THAT WILL BE UN-WORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON (MAY 1 TO SEPT 30) OR TWO DAYS DURING THE WET SEASON (OCT 1 TO APRIL 30) WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, OR EQUIVALENT.
13. STABILIZE ALL AREAS WITHIN SEVEN DAYS OF REACHING FINAL GRADE.
14. SEED, SOD, STABILIZE, OR COVER ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
15. UPON COMPLETION OF THE PROJECT, STABILIZE ALL DISTURBED AREAS AND REMOVE BMPs IF APPROPRIATE.



2019 Stormwater Management Manual for Western Washington
Volume II - Chapter 3 - Page 371

EROSION CONTROL STANDARD NOTES:

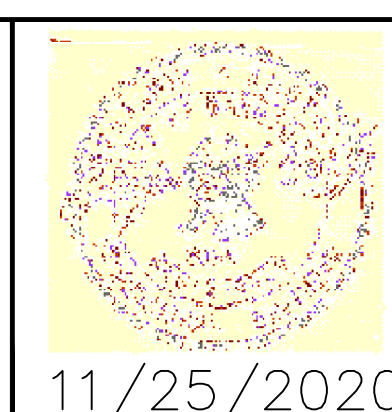
1. APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES).
2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
4. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
5. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
6. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
7. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A MAJOR STORM EVENT.
8. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
9. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.



2019 Stormwater Management Manual for Western Washington
Volume II - Chapter 3 - Page 279

NO	DATE	BY	APPR	REVISIONS

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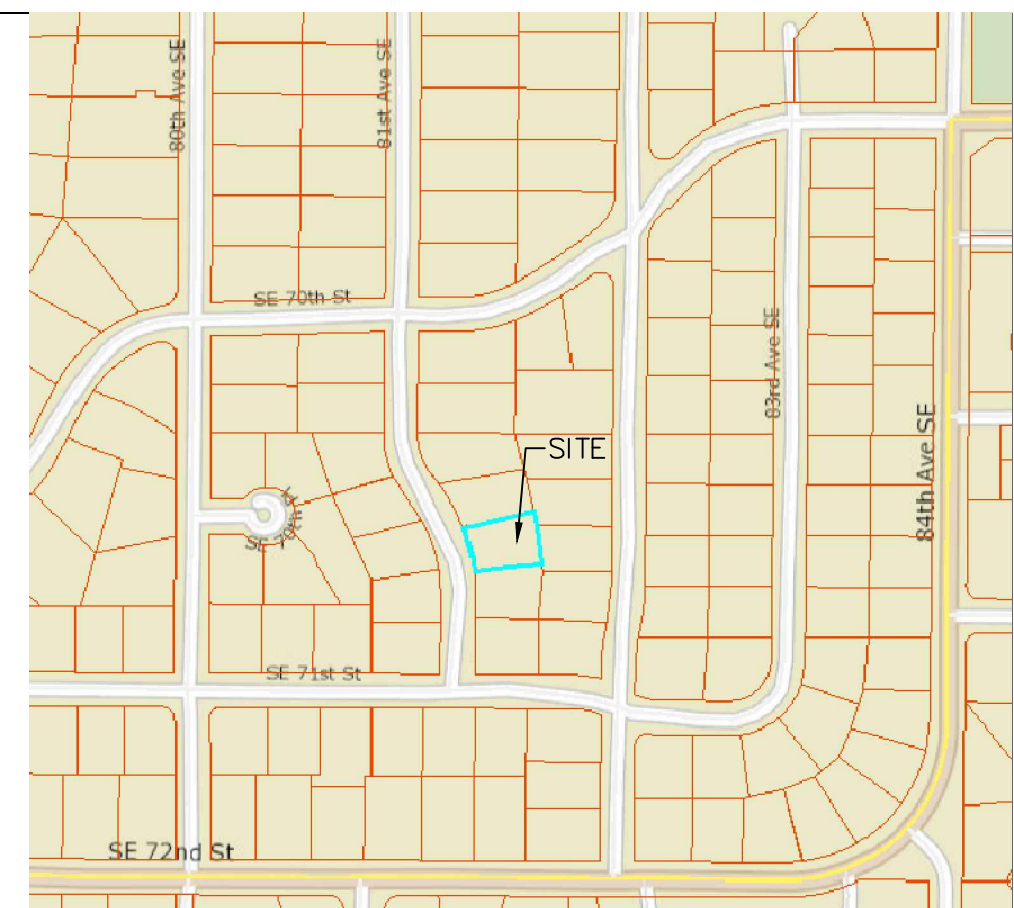


Approved By ^M

BPA 11/15/20
 DESIGNED BY DATE
 BPA 11/15/20
 DRAWN BY DATE
 CHECKED BY DATE

CHAN RESIDENCE
 7036 81ST AVE SE
 MERCER ISLAND, WA 98040

**TESC STD DETAILS
 AND STD NOTES**
 AE2020-97 SHT 2 OF 2



VICINITY MAP

PARCEL # 873230-0240

LEGAL DESCRIPTION:
 (PER STATUTORY WARRANTY DEED RECORDING# 20120628001442)
 LOT 3, BLOCK 4, TWIN VIEW NO. 2, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 64 OF PLATS, PAGES 90 AND 91, IN KING COUNTY, WASHINGTON.

EXISTING HARD SURFACE AREA:

TOTAL LOT AREA	10,323 SF
IMPERVIOUS HARD SURFACE:-	
EXISTING MAIN BUILDING ROOF AREA	2,040 SF
EXISTING GARAGE AND SHED/STORE	998 SF
EXISTING COVERED PATIO/DECK	410 SF
EXISTING ASPHALT DRIVE WAY	922 SF
EXISTING WALK WAY (60+124)	184 SF
TOTAL EXISTING IMPERVIOUS	4,554 SF

PERVIOUS HARD SURFACE:-

EXISTING UNCOVERED DECK	247 SF
TOTAL HARD SURFACE	4,801 SF

TOTAL% EXISTING HARD SURFACE COVERAGE = 46.5%

PROPOSED HARD SURFACE AREA:

TOTAL LOT AREA	10,323 SF
IMPERVIOUS HARD SURFACE:-	
EXISTING MAIN BUILDING ROOF AREA	2,040 SF
NEW GARAGE AND ADU ROOF AREA	1,518 SF
NEW COVERED PATIO/DECK	145 SF
NEW ASPHALT DRIVE WAY	981 SF
NEW WALK WAY/STAIR/RET.WALL	47 SF
TOTAL IMPERVIOUS	4,731 SF

PERVIOUS HARD SURFACE:-

EXISTING UNCOVERED DECK	247 SF
REPLACED WALK WAY/PERVIOUS PAVERS	60 SF

TOTAL HARD SURFACE 5,038 SF

TOTAL% EX/NEW/REPLCED HARD SURFACE COVERAGE = 49%

REPLACED HARD SURFACE	2514 SF (24.35%)
ADDED NEW HARD SURFACE	237 SF (2.30%)
TOTAL REP/NEW HARD SURFACE	2,751 SF

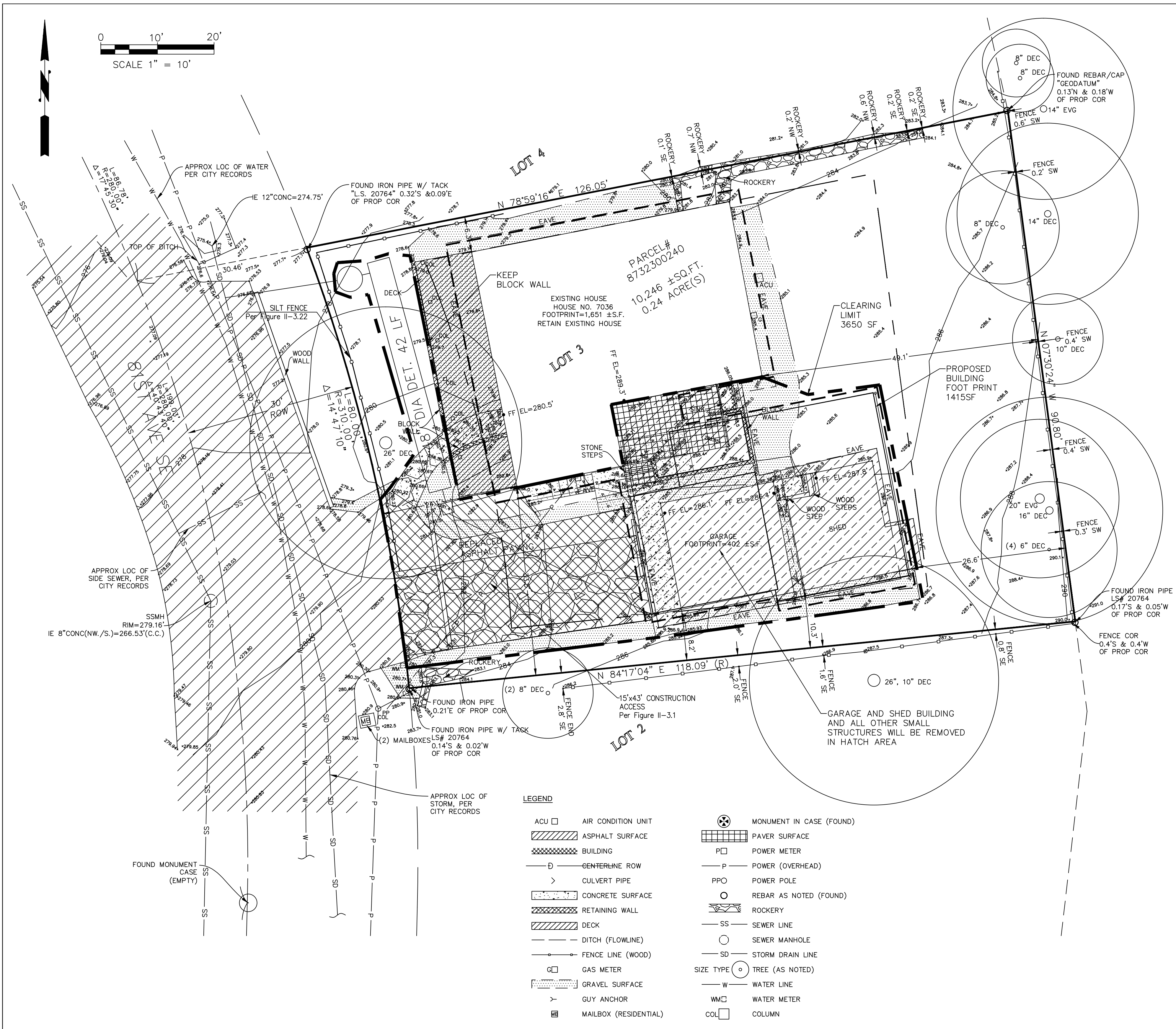
TOTAL% NEW/REPLCED HARD SURFACE COVERAGE = 26.65%

DETENTION PIPE DESIGN AREA:

REPLACED/NEW IMPERVIOUS	2,691 SF
EXISTING IMP. WITH COMBINED DS	840 SF
TOTAL IMP. FOR DETENTION	3,531 SF

NOTES:

1. SILT FENCE AND ROCK CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CLEARING OR GRADING.
2. EXISTING GARAGE AND STORE NEED TO BE DEMOLISHED
3. ALL THE TREES WILL BE RETAINED
4. EXISTING PAVING AND SMALL GRADING STRUCTURES NEED TO BE REMOVED IN CLEARING LIMIT FOR RE-GRADING
5. APPLY SOIL AMENDMENT PER BMP T5.13 AND STABILIZE THE SOIL AND COVER WITH MULCH AT DISTURBED AREA BEFORE REMOVING THE SILT FENCE



LEGEND

ACU	AIR CONDITION UNIT	⊗	MONUMENT IN CASE (FOUND)
▨	ASPHALT SURFACE	▨	PAVER SURFACE
▩	BUILDING	□	POWER METER
—D—	CENTERLINE ROW	—P—	POWER (OVERHEAD)
>	CULVERT PIPE	PPO	POWER POLE
▨	CONCRETE SURFACE	○	REBAR AS NOTED (FOUND)
▨	RETAINING WALL	⊗	ROCKERY
▨	DECK	—SS—	SEWER LINE
—	DITCH (FLOWLINE)	○	SEWER MANHOLE
—	FENCE LINE (WOOD)	—SD—	STORM DRAIN LINE
□	GAS METER	—W—	WATER LINE
▨	GRAVEL SURFACE	WM	WATER METER
—	GUY ANCHOR	COL	COLUMN
MB	MAILBOX (RESIDENTIAL)		

NO	DATE	BY	APPR	REVISIONS

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11/25/2020

Approved By M

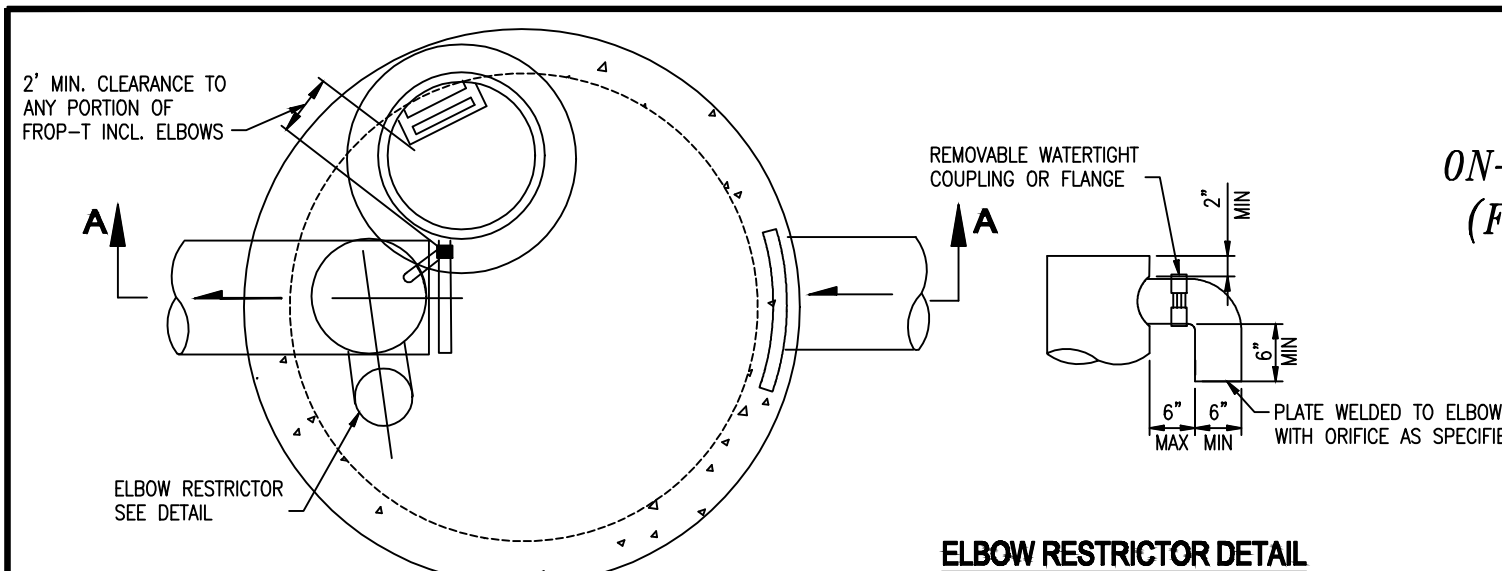
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DRAWN BY	DATE
CHECKED BY	DATE

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 MERCER ISLAND, WA 98040

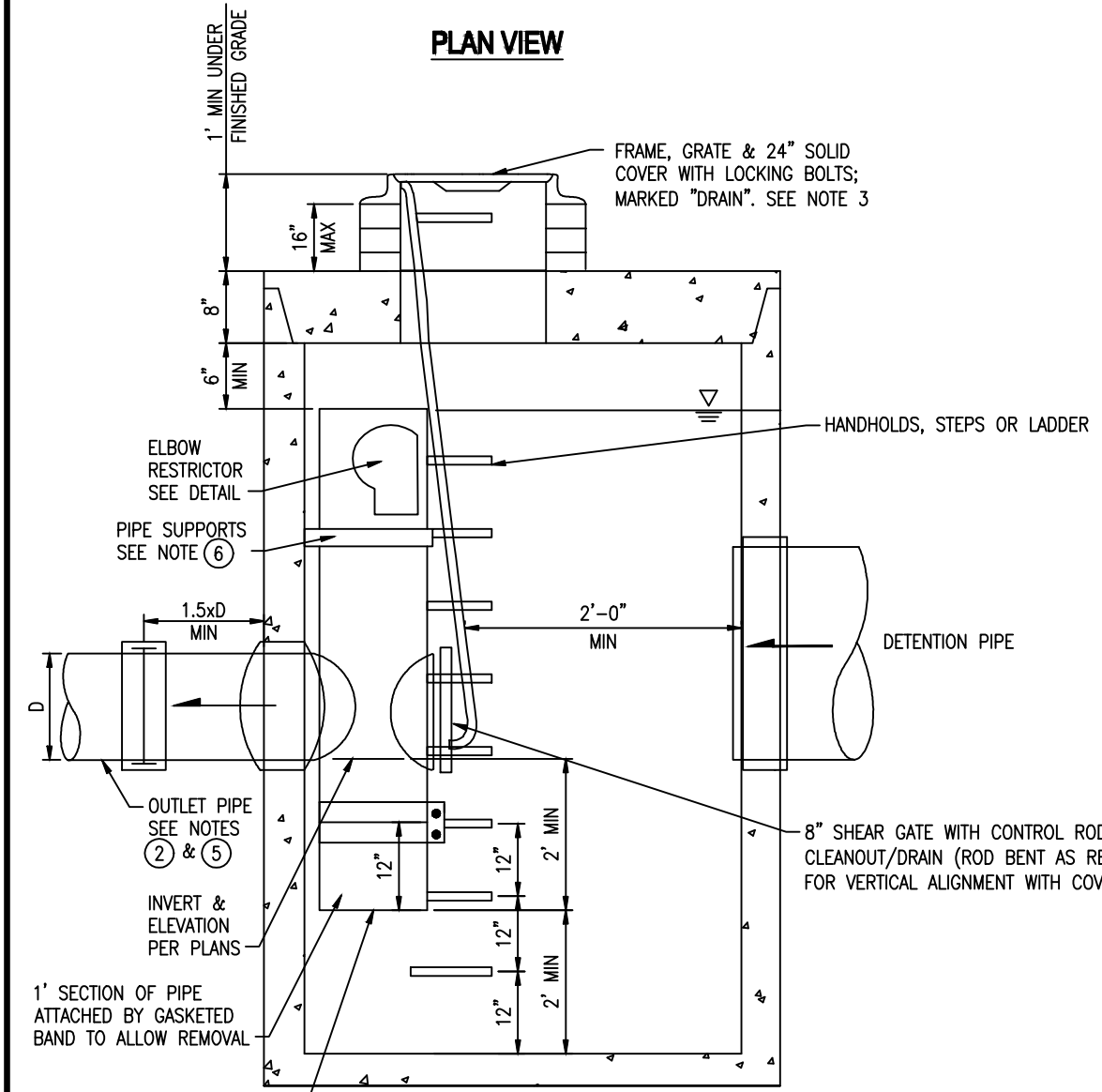
TESC PLAN

AE2020-97 SHT 1 OF 2

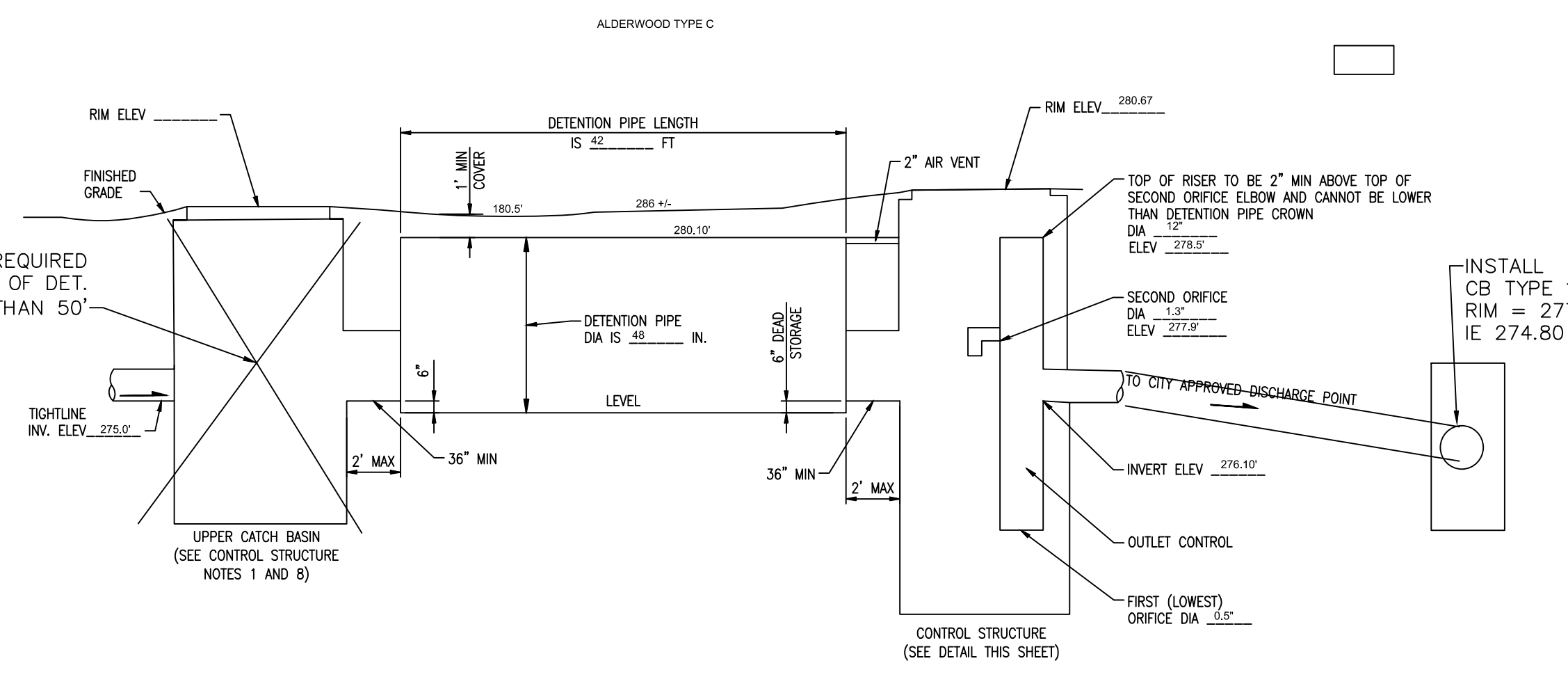
**ATTACHMENT 1
CITY OF MERCER ISLAND
ON-SITE DETENTION SYSTEM WORKSHEET
(FOR NEW PLUS REPLACED IMPERVIOUS
AREA OF 9,500 SF OR LESS)**



OWNER: CHAN ADDRESS: 7036 81ST AVE SE PREPARED BY: ANSTEY ENGINEERING
 PERMIT #: _____ MERCER ISLAND, WA PHONE: 206-303-7639
 DATE: 11-16-2020
 NEW PLUS REPLACED IMPERVIOUS SURFACE AREA (SF): 2751 sf DETENTION PIPE DIA (INCH): 48" DETENTION PIPE LENGTH (FT): 42" ORIFICE #1 DIA 0.5" INCH, ELEV 275.07
 SOIL TYPE: ALDERWOOD TYPE C PIPE MATERIAL: LCPE ORIFICE #2 DIA 1.3" INCH, ELEV 277.9



- CONTROL STRUCTURE NOTES:**
- USE A MINIMUM OF A 54 IN. DIAM. TYPE 2 CATCH BASIN. THE ACTUAL SIZE IS DEPENDENT ON CONNECTING PIPE MATERIAL AND DIAMETER.
 - OUTLET PIPE: MIN. 6 INCH.
 - METAL PARTS: CORROSION RESISTANT. NON-GALVANIZED PARTS PREFERRED. GALVANIZED PIPE PARTS TO HAVE ASPHALT TREATMENT 1.
 - FRAME AND LADDER OR STEPS OFFSET SO:
 - A. CLEANOUT GATE IS VISIBLE FROM TOP.
 - B. CLIMB-DOWN SPACE IS CLEAR OF RISER AND CLEANOUT GATE.
 - C. FRAME IS CLEAR OF CURB.
 - IF METAL OUTLET PIPE CONNECTS TO CEMENT CONCRETE PIPE, OUTLET PIPE TO HAVE SMOOTH O.D. EQUAL TO CONCRETE PIPE I.D. LESS 1/4 IN.
 - PROVIDE AT LEAST ONE 3 X 0.090 GAUGE SUPPORT BRACKET ANCHORED TO CONCRETE WALL WITH 5/8 IN. STAINLESS STEEL EXPANSION BOLTS OR EMBEDDED SUPPORTS 2 IN. INTO CATCH BASIN WALL (MAXIMUM 3'-0" VERTICAL SPACING).
 - THE SHEAR GATE SHALL BE MADE OF ALUMINUM ALLOY IN ACCORDANCE WITH ASTM B 26M AND ASTM B 275, DESIGNATION Z6324; OR CAST IRON IN ACCORDANCE WITH ASTM A 48, CLASS 30B. THE LIFT HANDLE SHALL BE MADE OF A SIMILAR METAL TO THE GATE (TO PREVENT GALVANIC CORROSION). IT MAY BE OF SOLID ROD OR HOLLOW TUBING, WITH ADJUSTABLE HOOK AS REQUIRED. A NEOPRENE RUBBER GASKET IS REQUIRED BETWEEN THE RISER MOUNTING FLANGE AND THE GATE FLANGE. INSTALL THE GATE SO THAT THE LEVEL-LINE MARK IS LEVEL WHEN THE GATE IS CLOSED. THE MATING SURFACES OF THE LID AND THE BODY SHALL BE MACHINED FOR PROPER FIT. ALL SHEAR GATE BOLTS SHALL BE STAINLESS STEEL.
 - THE UPPER CATCH BASIN IS REQUIRED IF THE LENGTH OF THE DETENTION PIPE IS GREATER THAN 50 FT.



ON-SITE DETENTION SYSTEM
NOT TO SCALE (ENGINEER TO FILL IN BLANKS)

- ON-SITE DETENTION SYSTEM NOTES:**
- CALL DEVELOPMENT SERVICES (206-275-7605) 24 HOURS IN ADVANCE FOR A DETENTION SYSTEM INSPECTION BEFORE BACKFILLING AND FOR FINAL INSPECTIONS.
 - RESPONSIBILITY FOR OPERATION AND MAINTENANCE OF DRAINAGE SYSTEMS ON PRIVATE PROPERTY IS RESPONSIBILITY OF THE PROPERTY OWNER. MATERIAL ACCUMULATED IN THE STORAGE PIPE MUST BE REMOVED FROM CATCH BASINS TO ALLOW PROPER OPERATION. THE OUTLET CONTROL ORIFICE MUST BE KEPT OPEN AT ALL TIMES.
 - PIPE MATERIAL, JOINT, AND PROTECTIVE TREATMENT SHALL BE IN ACCORDANCE WITH SECTION 7.04 AND 9.05 OF THE WSDOT STANDARD SPECIFICATION FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, LATEST VERSION. SUCH MATERIALS INCLUDE THE FOLLOWING: LINED CORRUGATED POLYETHYLENE PIPE (LCPE), ALUMINIZED TYPE 2 CORRUGATED STEEL PIPE AND PIPE ARCH (MEETS AASHTO DESIGNATIONS M274 AND M36), CORRUGATED OR SPIRAL RIB ALUMINUM PIPE, OR REINFORCED CONCRETE PIPE. CORRUGATED STEEL PIPE IS NOT ALLOWED.
 - FOOTING DRAINS SHALL NOT BE CONNECTED TO THE DETENTION SYSTEM.

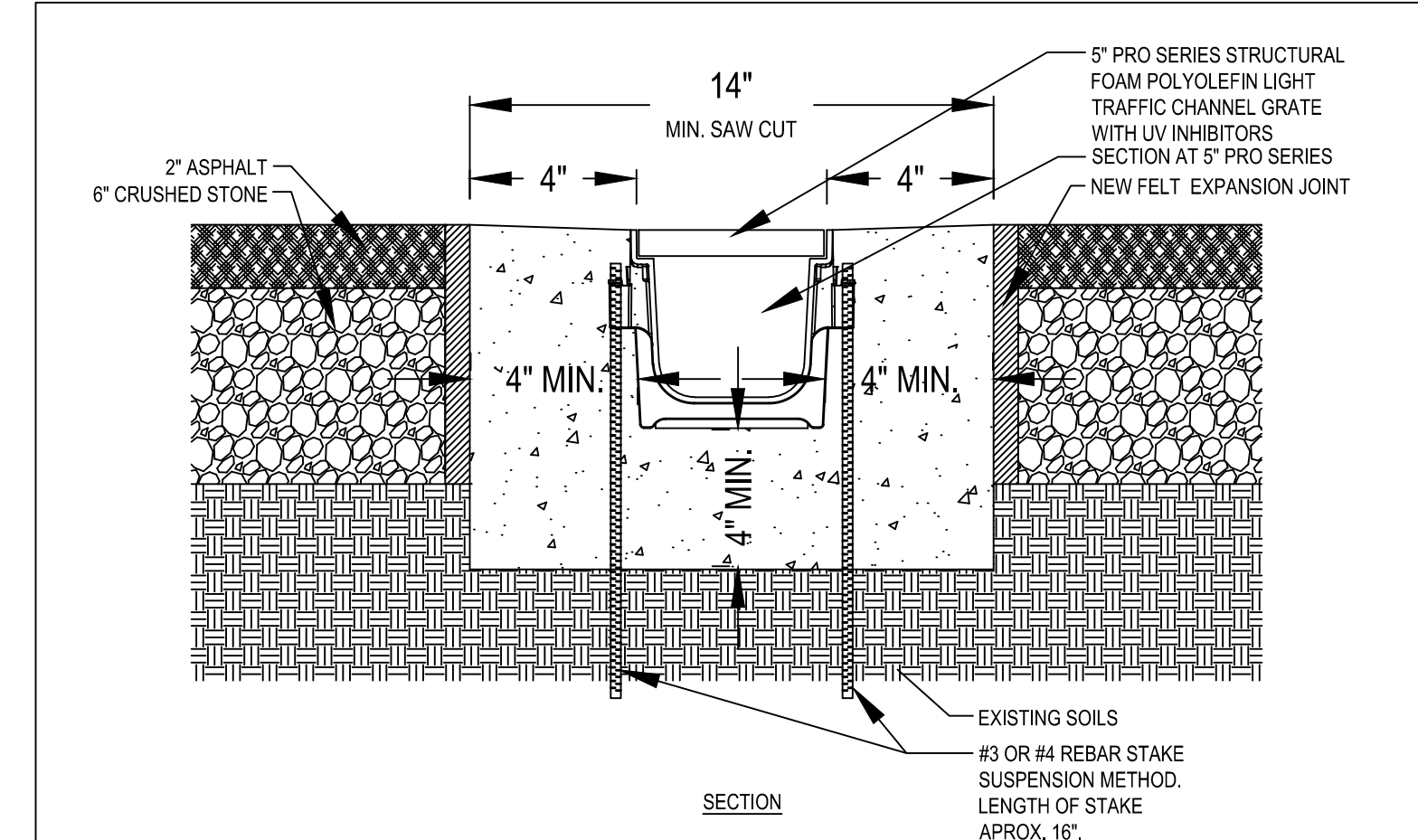
Table 1
ON-SITE DETENTION DESIGN FOR PROJECTS BETWEEN 500 SF AND 9,500 SF NEW PLUS REPLACED IMPERVIOUS SURFACE AREA

New and Replaced Impervious Surface Area (sf)	Detention Pipe Diameter (in)	Detention Pipe Length (ft)		Lowest Orifice Diameter (in) ^[1]		Distance from Outlet Invert to Second Orifice (ft)		Second Orifice Diameter (in)	
		B soils	C soils	B soils	C soils	B soils	C soils	B soils	C soils
500 to 1,000 sf	36"	30	22	0.5	0.5	2.2	2.0	0.5	0.8
	48"	18	11	0.5	0.5	3.3	3.2	0.9	0.8
	60"	11	7	0.5	0.5	4.2	3.4	0.5	0.6
1,001 to 2,000 sf	36"	66	43	0.5	0.5	2.2	2.3	0.9	1.4
	48"	34	23	0.5	0.5	3.2	3.3	0.9	1.2
	60"	22	14	0.5	0.5	4.3	3.6	0.9	0.9
2,001 to 3,000 sf	36"	90	65	0.5	0.5	2.2	2.4	0.9	1.3
	48"	48	36	0.5	0.5	3.1	2.8	0.9	1.5
	60"	30	20	0.5	0.5	4.2	3.7	0.9	1.1
3,001 to 4,000 sf	36"	120	78	0.5	0.5	2.4	2.2	1.4	1.6
	48"	62	42	0.5	0.5	2.8	2.9	0.8	1.3
	60"	42	26	0.5	0.5	3.8	3.9	0.9	1.3
4,001 to 5,000 sf	36"	134	91	0.5	0.5	2.8	2.2	1.7	1.5
	48"	73	49	0.5	0.5	3.6	2.9	1.6	1.5
	60"	46	31	0.5	0.5	4.6	3.5	1.6	1.3
5,001 to 6,000 sf	36"	162	109	0.5	0.5	2.7	2.2	1.8	1.6
	48"	90	59	0.5	0.5	3.5	2.9	1.7	1.5
	60"	54	37	0.5	0.5	4.6	3.6	1.6	1.4
6,001 to 7,000 sf	36"	192	128	0.5	0.5	2.7	2.2	1.9	1.8
	48"	102	68	0.5	0.5	3.7	2.9	1.9	1.6
	60"	64	43	0.5	0.5	4.6	3.6	1.8	1.5
7,001 to 8,000 sf	36"	216	146	0.5	0.5	2.8	2.2	2.0	1.8
	48"	119	79	0.5	0.5	3.8	2.9	2.2	1.7
	60"	73	49	0.5	0.5	4.5	3.6	2.0	1.6
8,001 to 8,500 sf ^[2]	36"	228	155	0.5	0.5	2.8	2.2	2.1	1.9
	48"	124	84	0.5	0.5	3.7	2.9	1.9	1.8
	60"	77	52	0.5	0.5	4.6	3.6	2.0	1.6
8,501 to 9,000 sf	36"	NA ^[3]	164	0.5	0.5	NA ^[3]	2.2	NA ^[4]	1.9
	48"	NA ^[3]	89	0.5	0.5	NA ^[3]	2.9	NA ^[4]	1.9
	60"	NA ^[3]	55	0.5	0.5	NA ^[3]	3.6	NA ^[4]	2.1
9,001 to 9,500 sf ^[3]	36"	NA ^[3]	174	0.5	0.5	NA ^[3]	2.2	NA ^[4]	2.7
	48"	NA ^[3]	94	0.5	0.5	NA ^[3]	2.9	NA ^[4]	2.0
	60"	NA ^[3]	58	0.5	0.5	NA ^[3]	3.7	NA ^[4]	1.7

Notes:

- Minimum Requirement #7 (Flow Control) is required when the 100-year flow frequency causes a 0.15 cubic feet per second increase (when modeled in WWHM with a 15-minute timestep). Breakpoints shown in this table are based on a flat slope (0-5%). The 100-year flow frequency will need to be evaluated on a site-specific basis for projects on moderate (5-15%) or steep (> 15%) slopes.
- Soil type to be determined by geotechnical analysis or soil map.
- Sizing includes a Volume Correction Factor of 120%.
- Upper bound contributing area used for sizing.
- On Type B soils, new plus replaced impervious surface areas exceeding 9,500 sf trigger Minimum Requirement #7 (Flow Control).
- On Type C soils, new plus replaced impervious surface areas exceeding 9,500 sf trigger Minimum Requirement #7 (Flow Control).
- Minimum orifice diameter = 0.5 inches

Basis of Sizing Assumptions:
 Sized per MRF5 in the Stormwater Management Manual for Puget Sound Basin (1992 Ecology Manual)
 5BUH, Type 1A, 24-hour hydrograph
 2-year, 24-hour storm = 2 in; 10-year, 24-hour storm = 3 in; 100-year, 24-hour storm = 4 in
 Prerdeveloped = second growth forest (CN = 72 for Type B soils, CN = 81 for Type C soils)
 Developed = impervious (CN = 98)
 0.5 foot of sediment storage in detention pipe
 Overland slope = 5%



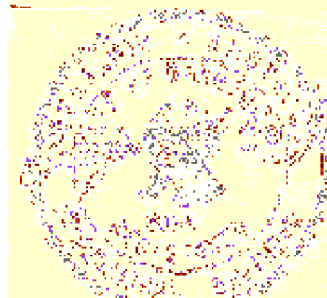
- NOTES:**
- CHANNELS TO BE INSTALLED WITH GRATE. GRATE TO BE PROTECTED FROM CONCRETE POUR.
 - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - DO NOT SCALE DRAWING.
 - THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
 - ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

PRO SERIES CHANNEL DRAIN SYSTEM
5" PRO SERIES INSTALLATION DETAIL - LOAD CLASS 'A' & 'B' - 4" ENCASUREMENT REBAR SUSPENSION W/ ASPHALT

REVISION DATE 3-5-2015


NO	DATE	BY	APPR	REVISIONS

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**SITE & DRAINAGE
PLAN DETAILS**

AE2020-97 SHT 2 OF 2